A detailed historical map of Albany, New York, showing a grid of streets and various landmarks. The map includes labels for 'HILLS' and 'PINE HILLS' in large letters. Other street names visible include MANNING BOULEVARD, NINETEENTH AVENUE, TOLL GATE, PINE AVENUE, MADDISON AVENUE, HAMILTON AVENUE, WHUDSON AVENUE, JAY AVENUE, LANCASERIE, STATE STREET, WASHINGTON AVENUE, BENGSON AVENUE, CHESTNUT AVENUE, HAMPTON AVENUE, HAMILTON AVENUE, MORRIS AVENUE, MYRTLE AVENUE, WARRIOR AVENUE, CLINTON AVENUE, CENTER AVENUE, ELK AVENUE, SHERMAN AVENUE, BRADFORD AVENUE, JEROME AVENUE, ELBERON AVENUE, HOSPITAL AVENUE, PENITENTIARY AVENUE, and PROVIDENCE AVENUE. There are also labels for 'RESEVOIR', 'CATHOLIC CEMETERY', 'BEAVERWICK', 'PARK', 'STATE', 'WESTERN', 'HOSPITAL', 'PENITENTIARY', and 'PROVIDENCE'. A large, faint watermark of the word 'PINE HILLS' is overlaid on the map.

SEPTEMBER 30, 2025

PINE HILLS NEIGHBORHOOD HISTORIC RESOURCES SURVEY

RECONNAISSANCE-LEVEL SURVEY

CITY OF ALBANY
ALBANY COUNTY, NEW YORK

PREPARED FOR:
CITY OF ALBANY PLANNING & DEVELOPMENT DEPARTMENT

FUNDED BY:
CLG PROJECT #PRK01-T62301GG-1290000
NEW YORK STATE OFFICE OF PARKS, RECREATION AND
HISTORIC PRESERVATION

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EXECUTIVE SUMMARY

The City of Albany Department of Planning and Development retained Easton Architects to undertake a reconnaissance-level architectural survey of the historic resources within the Pine Hills neighborhood. This survey is intended to identify and study the distribution of the variety of building types and architectural styles within the survey area to gain a better understanding of the overall architectural character of the neighborhood. The goal of the Pine Hills Neighborhood Historic Resource Reconnaissance-Level Survey is to use the survey's findings to establish recommendations for future intensive-level survey within the neighborhood which will serve as a tool to inform future planning decisions.

The Pine Hills neighborhood is comprised of buildings dating from the late 19th century to the 1960s, with a majority of buildings constructed in the early 20th century. The area contains mostly residential dwellings with clusters of apartment buildings scattered throughout and small concentrations of commercial buildings located on primary thoroughfares. The neighborhood's gradual development and the influence of an array of real estate developers, architects, and builders is evident in the building types, architectural styles, building setbacks, and streetscapes found within smaller sub-areas in the Pine Hills neighborhood.

This survey report examines the building typologies found within the neighborhood, identified by building form, fenestration patterns, and character-defining features such as porches and roof form. One prevalent typology includes the two-and-one-half-story, two-bay, gable-front dwelling with a rectangular floorplan situated on a narrow lot. This building type has a second variation which has a different roof form. Another common building type is the "Homestead Temple Front," easily identified by a gable-front orientation with a pedimented gable end and two-story porch at the facade. Of the building typologies identified in this survey, all are typically found in clusters rather than interspersed among a street's other dwellings.

The reconnaissance-level survey resulted in the identification of eight nodes recommended for future intensive-level survey; each was identified based on shared architectural features and design, associations with a known real estate developer, as part of a planned development, and for their connection to a theme derived from the historic context of the neighborhood. These districts recommended for future survey include:

- Winchester Villas
- Winchester Gables
- Helderberg Heights
- Rough-Faced Stone and Concrete Houses on N. Pine Avenue and Lancaster Street
- Patterned Brick Apartments on S. Allen Street
- The College of Saint Rose Campus
- Brick Rowhouses on Hudson Avenue
- Roman Catholic Diocese N. Main Avenue Complex

This report proposes recommendations for future research, including four themes which connect and/or can contribute to the known history of the development of the Pine Hills neighborhood. These themes were identified throughout the course of research in the

EXECUTIVE SUMMARY

development of the historic context and specific sub-areas within the neighborhood and based on the building types found within the survey area. The recommended themes include:

- Individuals and Organizations Involved in Developing the Survey Area
- Apartment Buildings
- Rowhouses
- Subdivisions
- Paigeville

The Findings and Recommendations section concludes with a discussion of historic preservation strategies and education outreach opportunities influenced by this report's recommendations for a continuation of more comprehensive survey for select areas within the Pine Hills neighborhood. These emphasize the importance of educating the public about reconnaissance- and intensive-level surveys as planning tools and the differences between the products of each type of survey. As designation often follows intensive-level surveys, it is also important that the public understand the differences between each level of designation—local, state, and national—and how each may or may not affect homeowners within the overall neighborhood and those located within a designated district. Local designation is noted as a strategy that can help to protect historically significant buildings and buildings within historic districts. The creation of design guidelines for specific districts can also ensure the area retains the architectural character for which it is considered significant.

METHODOLOGY AND RESEARCH DESIGN

Survey Area

The survey area is located in the western section of the City of Albany, generally bounded by Washington and Western Avenues and Elberon Place to the north, the rear of property lots along the west side of S. Lake Avenue (excepting the Upper Madison Historic District) to the east, New Scotland Avenue to the south, and the rear of property lots fronting S. Manning and Manning Boulevards to the west (see Appendix A). There are no locally designated resources within the survey area. However, the southeast boundary of the survey area abuts four local historic districts: South Lake Avenue, Upper Madison Avenue, Washington Park, and Elberon Triangle. The survey area measures 684.8 acres and contains approximately 3,160 individual parcels of land.

Methodology

The objective of this reconnaissance-level survey is to conduct a preliminary evaluation of historic buildings, structures, sites, and objects within the Pine Hills neighborhood, significant for its concentration of late-19th and early-20th century buildings and as one of the earliest neighborhoods to extend west of Washington Park during that time. The goal of this survey is to identify and document the general distribution of property types, architectural styles, and individual character of the neighborhood, with particular attention to smaller nodes and sub-areas within the larger survey area, culminating in a Historic Resources Survey Report with recommendations for future intensive-level survey within Pine Hills.

Previous surveys and historic resource evaluations were reviewed to inform research avenues, establish the known historic properties within the survey area, and pursue any recommendations made in these past studies. Previous surveys include the Historic and Natural Districts Inventory Form for the Pine Hills Historic District by the City of Albany Bureau of Cultural Affairs (1976), SUNY Albany Downtown Campus Survey (1992), various archaeological and project-related evaluations and individual property data recorded in the New York State Cultural Resources Information System (CRIS), and the *Albany, New York Historic Preservation Plan* (2019).

The Pine Hills survey area was one of twenty-one areas identified for future survey within the *2019 Albany, New York Historic Preservation Plan* (hereinafter *Plan*) and falls within the *Plan*'s key historic context of early suburban development and westward expansion. The area boundaries outlined in the *Plan* directly informed the boundaries of the survey area for this reconnaissance-level survey. Feedback received during community engagement influenced the *Plan*'s boundary. Additional research in secondary sources, similar to previous surveys, revealed differing boundaries for the Pine Hills neighborhood; the lack of a consensus in the delineation of the neighborhood's boundaries helped to inform the recommendations included in this survey report.

METHODOLOGY AND RESEARCH DESIGN

Survey methodology included a detailed visual survey of the Pine Hills neighborhood, historic research, and geospatial analysis. Easton Architects collected field data in May 2025 with a team of three surveyors, walking a majority of the survey area and performing a windshield survey for all areas not examined on foot. The surveyors worked to collect qualitative and quantitative data about the overall survey area, focusing on gaining an understanding of the broader architectural trends and patterns and potential areas or buildings which would merit intensive-level survey at a future date. The team took photographs and extensive notes, recording the area's architectural styles or stylistic influences, potential character-defining and/or unique features, evidence of alterations, exterior materials, general condition, and use.

Historic research was conducted prior to and following the field survey to better understand the development of the Pine Hills neighborhood and to target specific areas for study during the first round of fieldwork in May. Additional historic research was undertaken following survey efforts to aid in the creation of the historic context for Pine Hills and to further understand the different catalysts for the area's gradual development during the late 19th and early 20th centuries. Atlas and Sanborn maps were helpful in tracing the evolution of road layouts; dating the development of a street, area, or subdivision; and in understanding the predominant materials used in the construction of buildings within the survey area. Historic newspapers, city directories, historic aerial photography, and parcel-level tax assessment data were also important resources used to identify builders and architects and to establish a building's approximate period of construction. Digital repositories were consulted, including, but not limited to, the Library of Congress, Internet Archive, the New York Public Library, Albany Public Library, Historic Albany Foundation, and the New York Heritage Digital Collections.

Easton Architects reviewed existing documentation of identified historic buildings and districts within the survey area, discussed in greater detail in the Findings & Recommendations section of this report. The Easton Architects team also reviewed previous architectural historic resource surveys and archaeological surveys that overlapped geographically with the survey area.

The products of this reconnaissance-level survey include specific area-level information entered into CRIS for specific nodes and concentrations of buildings that may merit future intensive-level survey and this companion Historic Resources Survey Report. The project scope also included a Public Information Session to explain the purpose of historic resource surveys, this survey's objective and products, and how buildings and areas were evaluated for potential inclusion in future intensive-level survey. A Public Information Session will be held by the City of Albany Planning & Development Department and Easton Architects. [Note: The public meeting has not yet been held with the Pine Hill Neighborhood Association. Information about the meeting and public comments received will be added to this report at a later date.]

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

Development Of The Pine Hills Neighborhood

Settlement in the city of Albany to the west of Washington Park did not occur until the late 19th century due to the growing population within the city center and as a result of improvements in transportation and utilities which were concurrently promoted by real estate developers.¹ Prior to real estate speculation, the area west of the downtown consisted of farmland, orchards, pastures, and fields; much of this land remained undeveloped into the 20th century until swamps were drained and streams diverted.² The area was built up slowly—development occurred well in to the 1960s—and, as a result, a wide variety of architectural styles and building types are present within the Pine Hills neighborhood and within street blocks themselves.

Improvements in transportation methods and to Albany's infrastructure were the primary factors behind westward expansion from the city center of Albany in the late 19th century. Two main toll roads that traverse the Pine Hills neighborhood—the Great Western Turnpike (present-day Western Avenue) and New Scotland Avenue—had been present since the late 18th century, connecting residents living on farms and large summer estates to the city center.³ The junction of Western and Madison Avenues, once known as “the Point,” is notable for early technological advancements in rail transportation, namely the departure of the first passenger train in the nation in 1831; these trains ran between the Point and Schenectady until 1844.⁴

Maps from the 1870s and 1880s show the gradual westward expansion of the city's network of horsecar and, later, streetcar lines. In 1876, a horsecar line extended west on Madison Avenue, terminating at Lakeview Terrace, just short of the half-way point of Washington Park (Figure 1). This westward expansion was later bolstered by the introduction of electric trolleys in 1890 and the extension of lines further west to Allen Street in 1889 (Figure 2) and Manning Boulevard in 1906.⁵ These trolleys improved the speed with which individuals could travel from the city center to Pine Hills, carrying passengers three miles in less than 30 minutes, according to one advertisement placed in the *Albany Evening Journal* (Figure 3).⁶ Developers often advertised free rides for “excursions” to Pine Hills in an attempt to show potential buyers land that was for sale and to promote the benefits of living in the western section of the city (Figure 4). Horsecars did not travel along New Scotland Avenue and both the city Common Council and United Traction Company, formed in 1899 following the merger of several local trolley companies, denied trolley service along the road in 1911.⁷ As a result, the Woodlawn Improvement Association established a bus route along New Scotland Avenue in 1914. Due to the lack of horsecar and trolley lines, the area adjacent to New Scotland Avenue remained largely undeveloped until the early 20th century, evident in the construction of Public School 19 at 395 New Scotland Avenue (1919),

¹ Weiss, Lorraine E., “From Tracks to Tracts: Albany's Westward Expansion” in *Albany Architecture: A Guide to the City*, ed. Diana S. Waite (Albany, NY: Mount Ida Press, 1993), 201.

² Weiss, “From Tracks to Tracts,” 201.

³ Weiss, “From Tracks to Tracts,” 201.

⁴ Weiss, “From Tracks to Tracts,” 201.

⁵ Weiss, “From Tracks to Tracts,” 205.

⁶ *Albany Evening Journal*, quoted in Akum Norder, *The History of Here: A House, the Pine Hills Neighborhood, and the City of Albany* (New York: State University of New York Press, 2017), 17.

⁷ Akum Norder, *The History of Here: A House, the Pine Hills Neighborhood, and the City of Albany* (New York: State University of New York Press, 2017), 214.

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

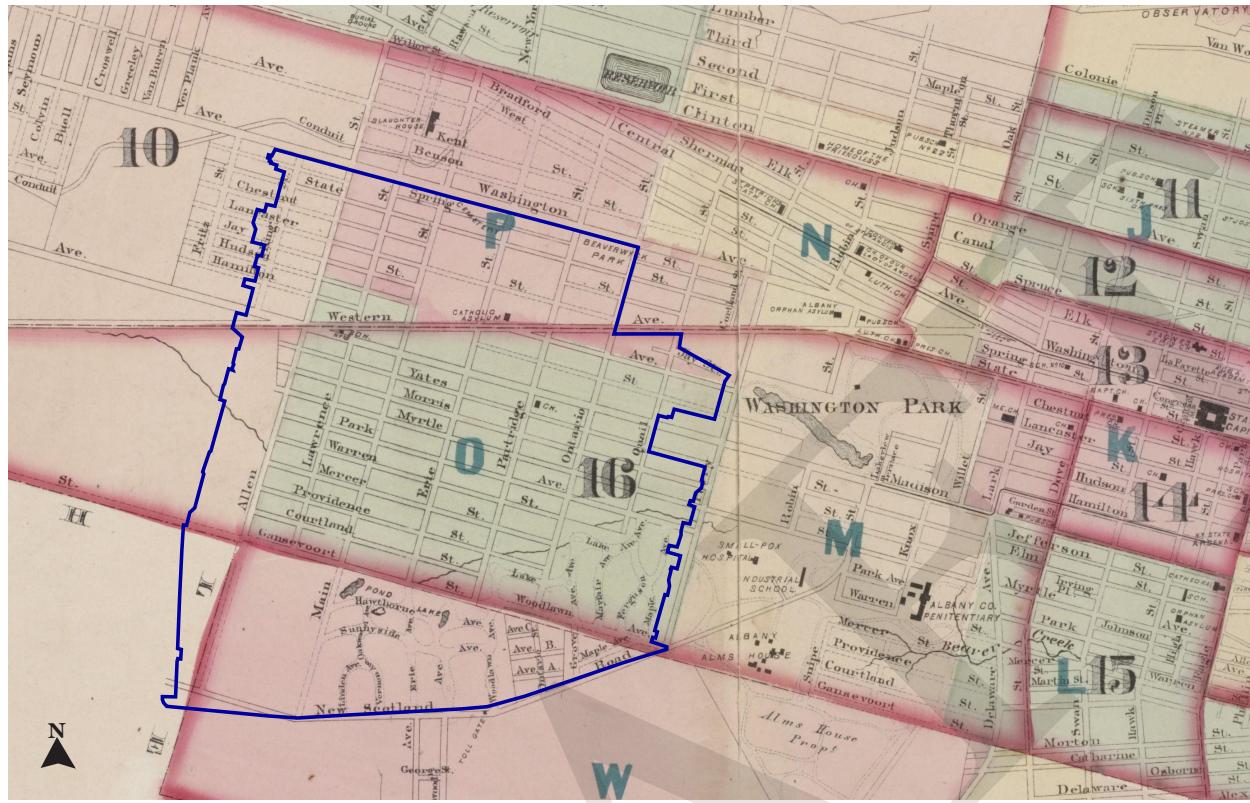


Figure 01. 1876 Atlas map. This map demonstrates the limited access to the western part of the city by horsecar. The route along Madison Avenue, indicated with a solid black line, only extends as far west as Lakeview Terrace. The survey area is outlined in blue. (Source: New York Public Library Digital Collections, Lionel Pincus and Princess Firyal Map Division.)

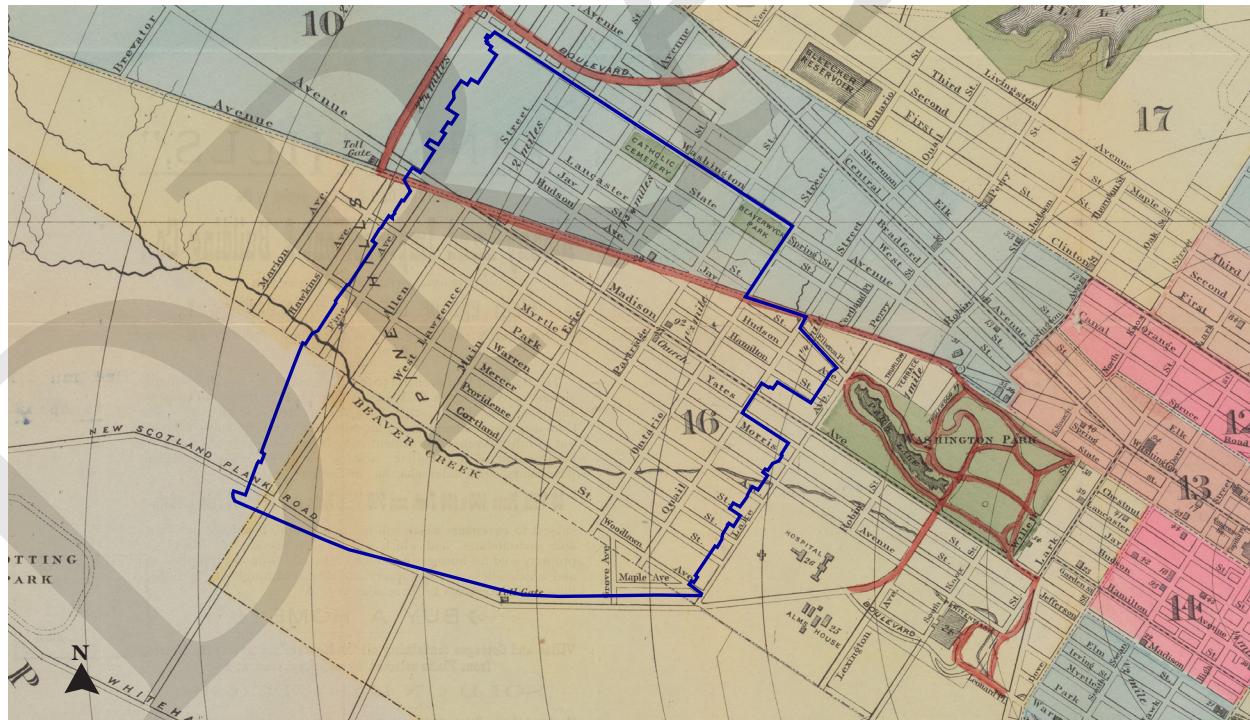


Figure 02. 1889 Atlas map. This map was created after the electric trolley line, indicated by a dashed line, was extended farther west to Allen Street. The survey area is outlined in blue. (Source: New York Public Library Digital Collections, Lionel Pincus and Princess Firyal Map Division.)

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

the establishment of the St. Teresa of Avila church at 435 New Scotland Avenue (1920), and the construction of the Albany Fire Department Engine 11, Ladder 5 fire station at 441 New Scotland Avenue (1927). This period of development is evident in the building types and styles present in the southern section of the Pine Hills neighborhood which abuts New Scotland Avenue. Streetcar lines were the primary method of transportation from western Albany to the downtown through the 1940s.⁸



Figure 03. Undated photograph of the Pine Hills trolley line of the United Traction Company, extending down Madison Avenue. This photograph of the trolley was taken facing east toward the survey area. (Source: New York Heritage Digital Collections.)

Following the creation of Washington Park in 1876, the city constructed new tree-lined roads connecting different areas of Albany to the park and improved existing roads, including paving and the laying of gas and sewer lines.⁹ The city began construction of the parkway on Manning and N. Manning Boulevards in 1876, though Manning Boulevard is depicted in maps as early as 1873; the road was originally called Boulevard but later renamed in honor of Albany park commissioner and President Grover Cleveland's secretary of treasury, Daniel Manning.¹⁰

⁸ Weiss, "From Tracks to Tracts," 201, 205.

⁹ Norder, *The History of Here*, 12-13.

¹⁰ Weiss, "From Tracks to Tracts," 205.

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

Real estate speculation and development began to increase during the late 19th century. Large farms and estates were sold and subdivided and dwellings constructed on lots, sometimes by individuals independent of real estate developers. In other instances, developers or builders constructed dwellings or rental housing in hopes of attracting buyers or to establish a street's architectural character.¹¹ The construction of the Steamer No. 10 firehouse in 1891 within the triangular plot of land bound by Madison and Western Avenues and W. Lawrence Street is evidence of the resulting increase in the neighborhood's density. The growth in the neighborhood's school-age population warranted the construction of a school, School 16, on N. Allen Street in 1906.

The Pine Hills subdivision, advertised as 170 acres,¹² was formerly part of two farms: the McIntyre and Hawkins farms bound by Marion Avenue to the west, Western Avenue to the north, Main Avenue to the east, and Courtland Street to the south.¹³ The Albany Land Improvement and Building Company purchased the land in 1888¹⁴ and a map of the planned subdivision was subsequently printed in the January 29, 1888 issue of the *Albany Sunday Express*. The Albany Land Improvement and Building Company was owned by Louis Pratt and Gaylord Logan and, for a brief period, also owned by William J. Caine, Harris A. Corell, and Charles

THE ATTENTION OF
INVESTORS AND HOME SEEKERS
IS CALLED TO THE ANNOUNCEMENT OF THE
SECOND HALF-HOLIDAY
EXCURSION TO PINE HILLS
—AND—
SALE OF LOTS

ON SATURDAY AFTERNOON OF THIS WEEK,
JULY 18TH, 1891.

This is a rare opportunity for investment inasmuch as the lots sold last Saturday at a mere fraction of their actual value, and in several instances purchasers at that sale have already had an opportunity to dispose of their lots at a decided advance in price. But the HOME SEEKER has an opportunity at this sale to secure for himself and family a very choice HOME SITE, within three minutes' walk of the electric cars, adjacent to the valuable improvements on Madison avenue and at Pine Hills, and in the most healthful, sightly and desirable location in the city.

The terms offered bring this property within the reach of all—\$25 down, and the balance payable \$1 per week.

Messrs. J. H. SIMMONS & SON, Auctioneers, will sell on Saturday afternoon of this week at half-past two o'clock, the block bounded by Allen, Lancaster, West Lawrence and Jay streets, subdivided into 6 Lots on Allen Street, Each 24 feet 9 inches by 137 feet 5½ inches. 26 Lots on Lancaster or Jay Street, Each 25 feet by 74 feet 3 inches. Every lot surveyed and staked.

Free Excursion Tickets to Pine Hills, maps and complete information may be had on application to Messrs. J. H. SIMMONS & SON, Auctioneers, 92 State Street, or of PRATT & LOGAN, 42 Tweedle Building.

LOUIS W. PRATT,
GAYLORD LOGAN, } Owners.
CHARLES J. PEABODY,

Figure 04. 1891 advertisement for a free excursion to Pine Hills. These trips were intended to promote the sale of property within the neighborhood. (Source: The Argus, July 16, 1891, 7, NYS Historic Newspapers.)

¹¹ Weiss, "From Tracks to Tracts," 206.

¹² *The Albany City Directory, For the Year 1890, Including Bath, East Albany and Greenbush, also a Business Directory, and Records of the City and Village Governments, Their Institutions, &c. &c.*, (Albany, NY: Sampson, Murdock & Co., June 1, 1890), 55.

¹³ Weiss, "From Tracks to Tracts," 206.

¹⁴ The Lakota Group, *Albany, New York Historic Preservation Plan*, 22.

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

J. Peabody.¹⁵ The company laid out and paved Pine Avenue and Allen Street, planted trees, constructed sidewalks, and installed drainage in addition to water and sewer lines. The company also constructed eight houses between 1888-89 along Pine Avenue and Allen Street, near Western Avenue.¹⁶ According to an advertisement placed in the 1889 city directory, Pine Hills offered 50 “villa plots” measuring 100x40 feet and 550 “villa plots” that were 50x200 feet in size (Figure 5).¹⁷ Covenants were placed on these lots which prohibited the sale of liquor and commercial activity to “insure [sic] beautiful, healthful, and desirable surroundings...and which will secure uniformity and beauty throughout.”¹⁸ Land records also show deed covenants which specified the minimum amount of money to be spent on the construction of a dwelling on the subject property, ensuring the construction of larger and more aesthetically pleasing houses in a specific area of the neighborhood. On S. Allen Street, steep lawns were called “terraces” in early promotions of the development and were remaining vestiges of the previous hilly topography of the neighborhood before developers had the streets graded (Figure 6).¹⁹ Based on building form and style, it appears that, in general, S. and N. Pine Avenues and S. and N. Allen Streets developed from north to south, with older building stock located to the north of Mercer Street and early 20th century buildings constructed south of Mercer Street.

Early residents of the Pine Hills neighborhood, unlike the center city, were predominantly non-immigrants, including Protestant and older Jewish populations.²⁰ The makeup of the neighborhood population and the prohibition of the sale of liquor was “seen as a rejection of the immigrant city farther to the east” as taverns were a prominent feature within neighborhoods in the older section of the city inhabited by immigrants.²¹ Weiss describes those building in the Pine Hill neighborhood as downtown residents seeking to move away from the city center, real estate speculators, and business associates of the Albany Land Improvement and Building Company’s partners.²² By 1890, Weiss notes that many lots in Pine Hills were owned by the Barber Asphalt Paving Company.²³

In the 1890s, two-family dwellings with an alley on either side became popular and were constructed in Pine Hills through the 1920s. This house form appealed to the working class as many lived in one space and rented out the other, sometimes to extended family.²⁴ In Pine Hills, most of these vernacular two-story, two-family, gable-front houses with double porches are simple in design, although there are some which are more ornate, such as 544 Providence Street.

¹⁵ Weiss, “From Tracks to Tracts,” 206.

¹⁶ These addresses remain unknown. Such houses, if extant, did not sufficiently differ from those constructed in later waves of construction.

¹⁷ *The Albany City Directory, For the Year 1889, Including Bath, East Albany and Greenbush, also a Business Directory, and Records of the City and Village Governments, Their Institutions, &c. &c.*, (Albany, NY: Sampson, Mardock & Co., June 1, 1889).

¹⁸ *The Albany City Directory For the Year 1889*.

¹⁹ Weiss, “From Tracks to Tracts,” 225.

²⁰ John J. McEneny, *Albany, Capital City on the Hudson: An Illustrated History* (Sun Valley, CA: American Historical Press, 2006), 79.

²¹ McEneny, *Albany, Capital City on the Hudson*, 79.

²² Weiss, “From Tracks to Tracts,” 225.

²³ Weiss, “From Tracks to Tracts,” 225.

²⁴ McEneny, *Albany, Capital City on the Hudson*, 79.

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

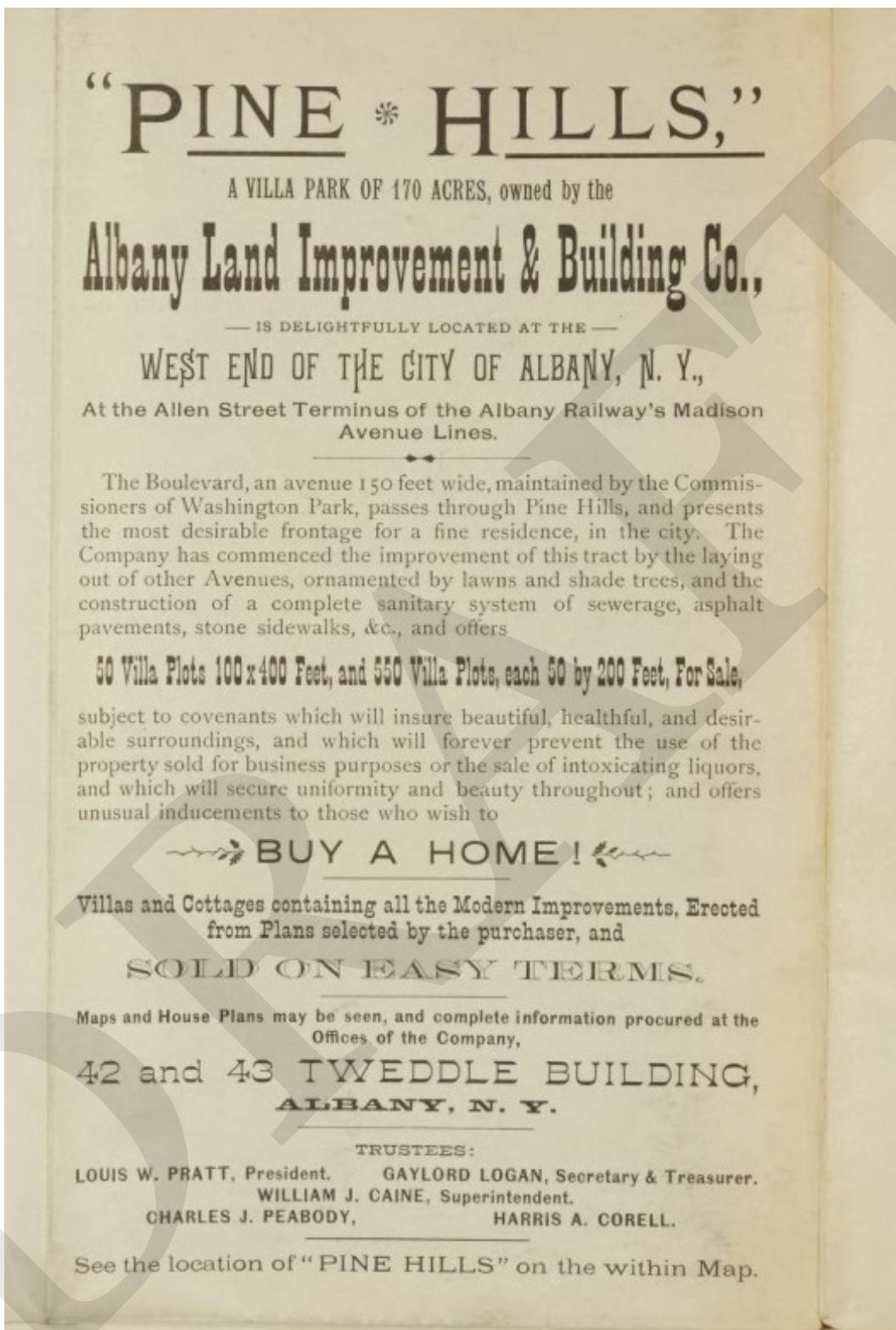


Figure 05. Advertisement for the Pine Hills subdivision printed in the 1889 Albany City Directory. (Source: Hathi Trust.)

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES



Figure 06. Undated photograph of S. Allen Street, facing north toward Morris Street (right). This photograph depicts the steep "terraces" mentioned in early Pine Hills advertisements, such as that in Figure 5. (Source: New York Heritage Digital Collections.)

The Albany Land Improvement and Building Company's involvement in the development of Pine Hills ended following the financial panic of 1893 and the land subsequently acquired by the Albany National Bank after the former's loan was foreclosed and auctioned off.²⁵ After the foreclosure, many property lots remained vacant into the 1920s. Many lots along S. Manning Boulevard²⁶ and Marion Avenue were purchased and later sold by the Wards Lane Company and the Keeler family; however because the land was swampy, development did not occur until after drainage was added in the 1930s.²⁷ The long time span for development in Pine Hills is visible in the varying architectural styles and building forms on Hansen Avenue, where houses were constructed over a 35-year period, from before the Great Depression to the 1960s.

The Pine Hills Neighborhood Association was formed in 1902 and helped to maintain the vision that was first established by the Albany Land Improvement and Building Company. When formed, the neighborhood association pushed for improvements in street lighting, street

²⁵ Weiss, "From Tracks to Tracts," 206.

²⁶ S. Manning Boulevard was originally named Hawkins Street after the Hawkins farm. The street name was changed to S. Manning Boulevard in the 1930s.

²⁷ Weiss, "From Tracks to Tracts," 231-232.

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

paving, sidewalks, and trolley service. In addition to organizing social activities, the Pine Hills Neighborhood Association worked (and continues to work) to improve municipal services and retain the character of the neighborhood through the review and prevention of development that would have a negative impact.

Real estate development and the construction of speculative houses continued well into the 20th century, farther from the original Pine Hills development. After 1910, the Blanchard-Lansing Realty Company purchased property on Main, Myrtle, and Park Avenues and West Lawrence, Morris, and Erie Streets, selling both vacant land and speculative houses.²⁸ These lots, unlike those on connecting Madison and Lake Avenues, were smaller in size and the dwellings more modest in design. These streets are characterized by both single- and multi-family housing built in the Colonial Revival, Arts and Crafts, and Tudor Revival styles and some which are notable for their Bungalow form.²⁹ Similarly, the Helderberg Heights subdivision located on S. Main Avenue between New Scotland Avenue and Amherst Avenue has dwellings which reflect early 20th century architectural styles, including a large number of Tudor Revival houses. This subdivision was established by Ten Eyck T. Mosher, with all 39 residences constructed by 1935 (Figure 7).

Individuals, such as carpenter-turned-real-estate-developer Lorenz Willig, also purchased land and, in Willig's case, constructed speculative housing throughout the early 20th century to accommodate the city's growing population. For example, Willig purchased land on W. Lawrence Street in 1910, subdivided it into smaller lots, and constructed houses to sell to prospective buyers; this was a pattern he repeated in other areas of Pine Hills and Albany.³⁰ Willig was known to construct both single-family and two-family dwellings. According to a 1922 newspaper article, Willig structured the construction of houses similar to an assembly line, with each group of workmen responsible for a certain part of construction moving in succession from one house to the next.³¹ In addition, harmonious streetscapes were created through Willig's use of "four to five [house] designs with slight exterior modifications so that a street of them presents a varied and pleasing appearance."³² Willig, in partnership with real estate developer John Scott, purchased 20 acres of land at the intersection of Washington Avenue and Nineteenth Street (present-day Winthrop Avenue) in 1912 and subsequently subdivided the land. All lots in this subdivision, known as "Pine Hills Park," were sold in the spring of 1915.³³

Construction companies also contributed to the built environment of the Pine Hills neighborhood. The Albany Material and Construction Company is one such organization, associated with the erection of at least four houses—and likely more—with the survey area. These houses on N. Pine Avenue and Lancaster Street are part of a group of eight architecturally distinct dwellings, notable for the use of rough-faced stone and concrete in their construction.

²⁸ Weiss, "From Tracks to Tracts," 215.

²⁹ Weiss, "From Tracks to Tracts," 215.

³⁰ Norder, *The History of Here*, 33.

³¹ "Plan of Homebuilding Company is Presented to Chamber of Commerce," *Hudson Valley Times*, March 21, 1922, 1. This article discusses Willig's participation in the Central New York Mortgage and Homebuilding Company, Inc. which was established

³² "Plan of Homebuilding Company is Presented to Chamber of Commerce," *Hudson Valley Times*, March 21, 1922, 1.

³³ "Pine Hills Park Sale is Closed," *The Argus*, June 1, 1915, 6.

HISTORIC CONTEXT AND ASSOCIATED PROPERTY TYPES

The company was owned by Ulysses G. Stockwell who resided at 89 N. Pine Avenue. In 1898 Stockwell became a general contractor in Albany and also began his involvement in real estate.³⁴ Stockwell was responsible for the construction of at least 225 dwellings within Albany, both apartments and houses, by 1911.³⁵

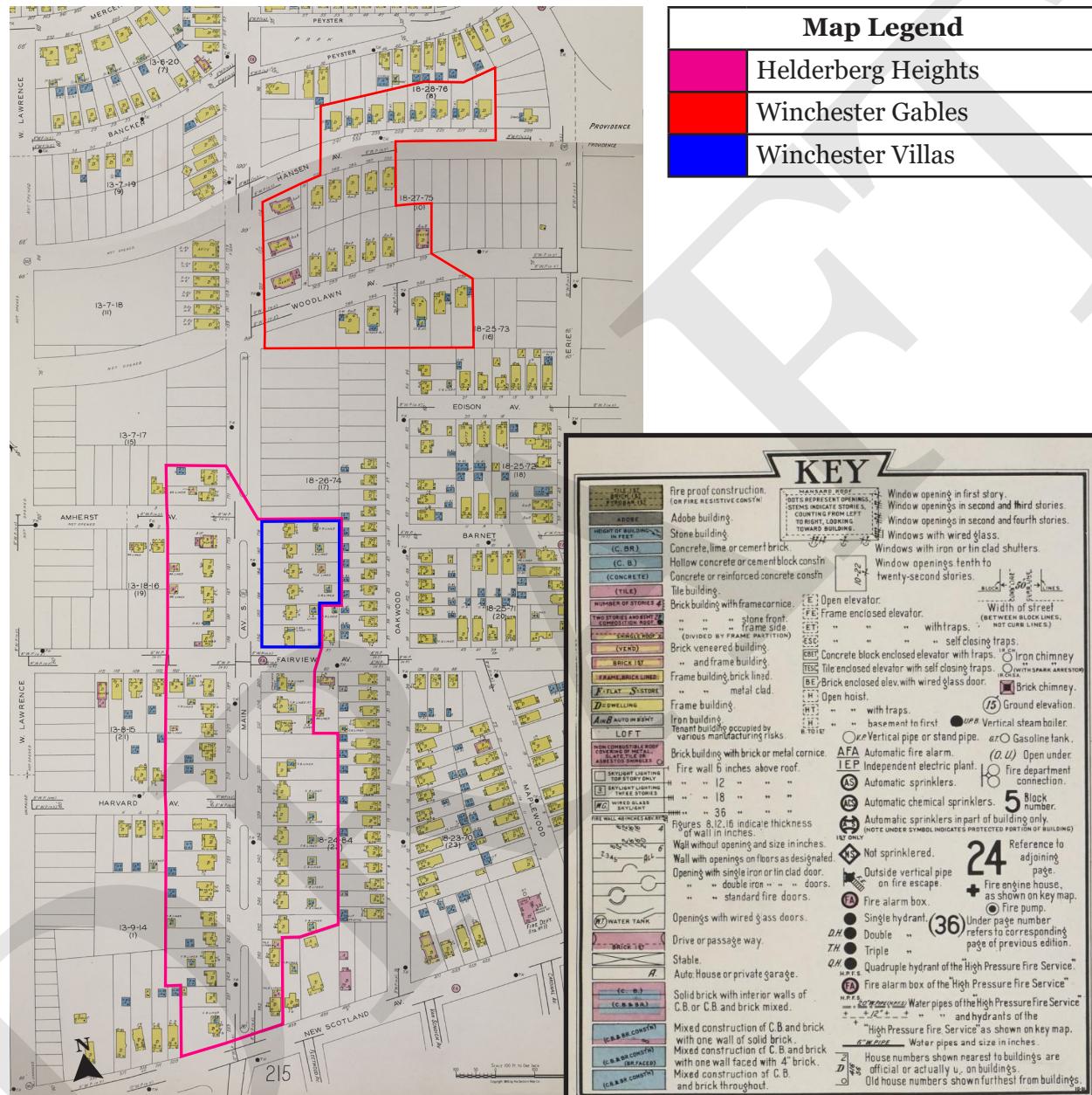


Figure 07. 1935 Sanborn map. The area outlined in red represents the grouping of Spanish Eclectic houses that were part of the Winchester Gables development. The area outlined in magenta indicates the Helderberg Heights subdivision. The blue area within the Helderberg Heights subdivision contains the six houses that make up the Winchester Villas development. (Source: Library of Congress Geography and Map Division.)

34 Cuyler Reynolds (ed.), *Hudson -Mohawk Genealogical and Family Memoirs*, vol 1. (NY: Lewis Historical Publishing Company, 1911), 457.

35 Reynolds, *Hudson-Mohawk Genealogical and Family Memoirs*, 457.

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One notable developer in the Pine Hills neighborhood was Dan H. Winchester, a manager of purchasing and buildings for the firm J.B. Lyon Printing Company, of which his father was president. Winchester became involved in real estate by 1919 at the age of 20.³⁶ In 1926, Winchester planned “Winchester Villas,” located at 176-194 S. Main Avenue (Figure 7). This small development consisted of six houses constructed by the firm, Willig and Acker³⁷, and included amenities such as concealed ironing boards; inlaid linoleum, breakfast nook, furniture, and electric refrigeration in the kitchen; and built-in bathroom fixtures, including a medicine cabinet.³⁸ Each house had a garage and a landscaped lawn. Two years later, Winchester planned “Winchester Gables,” located on S. Main Avenue between 176 S. Main Avenue and Hansen Avenue, Woodlawn Avenue between S. Main Avenue and W. Erie Street, and Hansen Avenue (Figure 7). A total of 60 residences were planned and three were constructed in 1928. The dwelling at 233 Hansen Avenue was constructed as a model home, built and furnished for potential owners to view. Winchester intended each house to cost under \$10,000 and all were custom designed with buyers selecting the site, floor plan, and exterior finishes which included an option of brick, shingle, or stucco in various patterns. Winchester Gables is notable for the Spanish Eclectic architectural style, which sets this smaller area apart from the architectural styles present within the larger Pine Hills neighborhood. Of the 60 planned residences, only 27 were constructed and the remaining lots auctioned and newer, brick dwellings constructed during the mid-20th century. It is possible that all 60 lots were not developed due to the beginning of the Great Depression in 1929. A historic Sanborn map shows that all 27 buildings were constructed by 1935. The remaining lots on Hansen Avenue and this particular block of Woodlawn Avenue remained empty until 1961; historic aerial imagery shows that the remaining buildings were constructed between 1952 and 1961.

Early 20th century growth brought with it the establishment of churches, clergy-operated charitable organizations, and schools. Notable buildings associated with charitable groups include the St. Vincent's Male Orphan Asylum (391 Western Avenue), the Frances Elliott Austin Infant Home (46 N. Main Avenue) and the Anthony N. Brady Maternity Hospital (40 N. Main Avenue). The latter two buildings, in addition to the former auxiliary building (30 N. Main Avenue, now altered), were operated by the Sisters of Charity, a group of Roman Catholic nuns. These three buildings were all designed by architects M.L. & H.G. Emery.³⁹ The Frances Elliott Austin Infant Home (infant home) at 46 N. Main Avenue⁴⁰ opened in February 1913 (Figure 8).⁴¹ The auxiliary building at 30 N. Main Avenue was constructed to service the infant home and the maternity hospital. One notable feature of the infant home includes the six solariums—three at

³⁶ Weiss, “From Tracks to Tracts,” 215.

³⁷ The firm of Willig & Acker, owned by Anthony J. Willig and Arthur C. Acker, is described in advertisements as “developers” and “home builders” who designed “kozey homes.” The Jewish Record: A Magazine for the Jewish Home, Volumes 1 and 2, (Albany: Capital District Publishing Company, Inc., 1929), 54. Willig was one of the sons of Lorenz Willig, a building contractor who constructed many houses within the Pine Hills neighborhood during the early 20th century.

³⁸ Weiss, “From Tracks to Tracts,” 214.

³⁹ “Ground is Broken for Hospital,” *The Argus*, June 18, 1913, 5.

⁴⁰ Prior to moving to this location, the Sisters of Charity ran a maternity hospital at the Austin mansion site, donated to them in memory of Frances Elliot by her husband. “Hospital on Western Avenue,” *The Argus*, May 22, 1910, 8.

⁴¹ “Santa Claus Will Not Forget This Big Family,” *The Argus*, December 13, 1914, 1.

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the building's northern end and three at the building's southern end.⁴² The auxiliary building contained a boiler room, laundry room, and kitchen. A tunnel and one-story corridor connected this building to the infant home and maternity hospital.



Figure 08. 1918 photograph of the Frances Elliott Austin Infant Home. [Source: Albany Institute of History & Art.]

The Anthony N. Brady Maternity Hospital, located at 40 N. Main Avenue, was constructed in 1913-14 and funded by Albany businessman Anthony N. Brady (Figure 9). When constructed, three of the maternity hospital's five floors were devoted to housing patients, containing wards, each with 12 beds, and private and semi-private rooms which could accommodate fifty obstetric cases.⁴³ These floors each had two solaria and a nursery. The fifth floor contained the labor and delivery rooms.⁴⁴ The hospital closed in 1966. The 1916 Annual Report of the State Board of Charities lists the objectives of the hospital and infant home which included the care and treatment of expecting mothers and housing "orphan or destitute" children from birth until

42 "Santa Claus Will Not Forget This Big Family," *The Argus*, December 13, 1914, 1.

43 Albany Medical College, *Medical Department of Union University: Announcement for 1915-1916* (Albany, NY: Frank H. Evory & Co., 1916), 25.

44 Albany Medical College, *Medical Department of Union University: Announcement for 1915-1916* (Albany, NY: Frank H. Evory & Co., 1916), 25.

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they reached the age of six.⁴⁵ Additional objectives included the establishment of a day nursery, to maintain a summer home or homes, and to “provide free summer outings for children and their mothers.”⁴⁶

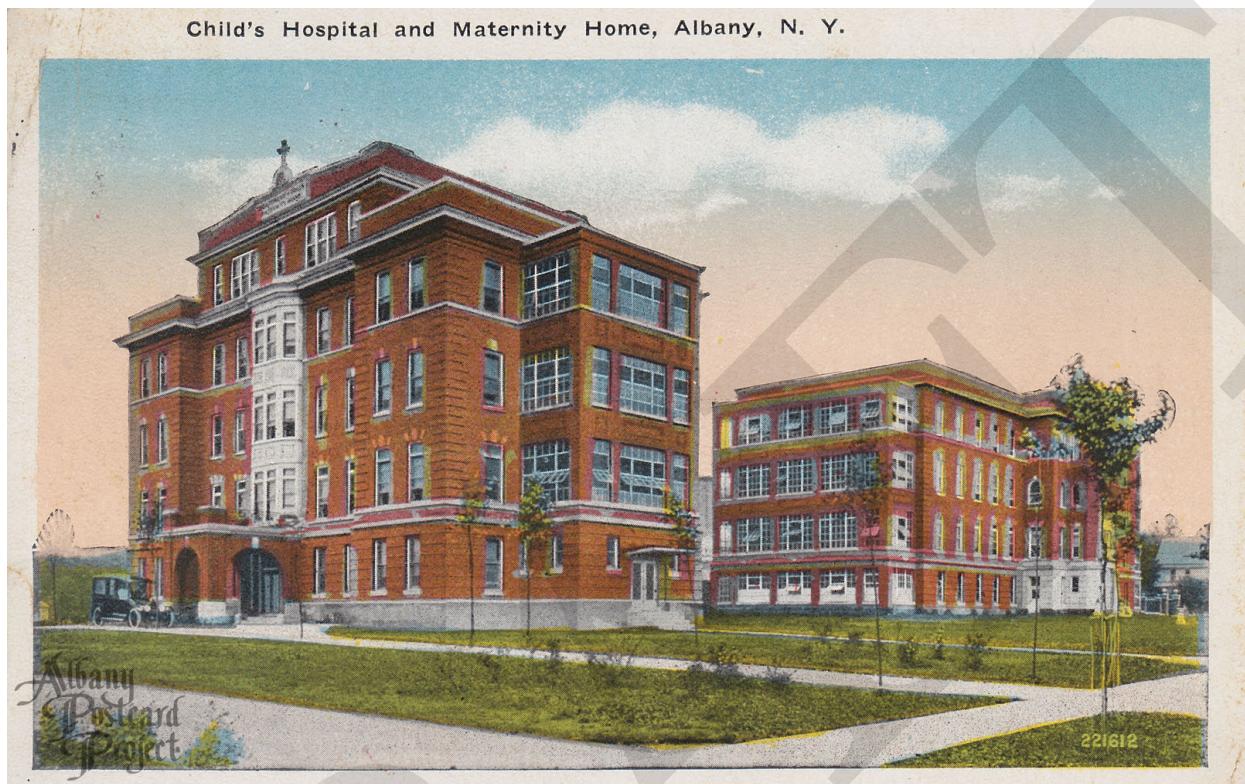


Figure 09. Undated postcard of the Anthony N. Brady Maternity Hospital (left) and Frances Elliot Infant Home. (Source: Albany Postcard Project.)

Madison Avenue, originally called Lydius Street, was the location of many dwellings of Albany's most prominent businessmen from the 1880s through the 1920s, though most settled adjacent to and east of Washington Park. Two notable schools were located along Madison Avenue, the Vincentian Institute (constructed in 1917) and the College of Saint Rose. The College of Saint Rose was established in 1920 by the Sisters of Saint Joseph as a Catholic college for women on the former William Keeler estate at 979 Madison Avenue. The property included a two-and-one-half-story building, garage, and pine grove⁴⁷; based on a comparison of Sanborn maps, the house appears to be extant and the garage was demolished, likely when Saint Joseph Hall was constructed in 1923-24. Improvements were made to the property and the first class of students began their studies in September of that same year. Within the first decade of the establishment of the College, new buildings were constructed, including Saint Joseph Hall (1922-23), the heating plant (demolished), and construction began on Albertus Magnus Hall (1929-1933) (Figure 10).

⁴⁵ State Board of Charities, *Annual Report of the State Board of Charities for the Year 1916* (Albany, NY: J.B. Lyon Company, 1917), 2:53.

⁴⁶ State Board of Charities, *Annual Report of the State Board of Charities for the Year 1916* (Albany, NY: J.B. Lyon Company, 1917), 2:53.

⁴⁷ RoseMarie Schillaci Manory, *Of Glory, Of Praise: A 75-Year History of the College of Saint Rose* (Albany: The College of Saint Rose, 1994), 5.

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In addition, the College purchased adjacent land and the frame buildings thereon to use as dormitories and classrooms and for the construction of new facilities. Several of these early buildings were demolished in the mid- and late-20th century as new buildings, such as the Neil Hellman Library (392-394 Western Avenue) and the Thelma P. Lally School of Education (1009 Madison Avenue), were constructed to accommodate the increasing size of the student body and to meet the needs of the College. This trend of purchasing existing buildings and constructing new facilities continued through the 20th century; as the use of automobiles increased during this time, the College also constructed parking lots to accommodate commuting students and faculty (Figures 11 and 12). The College of Saint Rose closed in May 2024 due to several decades of declining enrollment and a large projected operating cash deficit. The College campus is now owned by the Pine Hills Land Authority, an Albany County-controlled entity.



Figure 10. Ca. 1959 photograph of the Neil Hellman Library, located at 392-394 Western Avenue. (Source: New York Heritage Digital Collections.)

The SUNY Albany Alumni Quad is also located in the Pine Hills Neighborhood along Western Avenue. The presence of SUNY Albany and the College of Saint Rose impacted dwellings near each respective campus, resulting in the division of houses into apartments for student use.⁴⁸ The impacts these schools had on the built environment in Pine Hills are further discussed in the Building Use subsection of this chapter.

⁴⁸ The Lakota Group, *Albany, New York Historic Preservation Plan*, 22.

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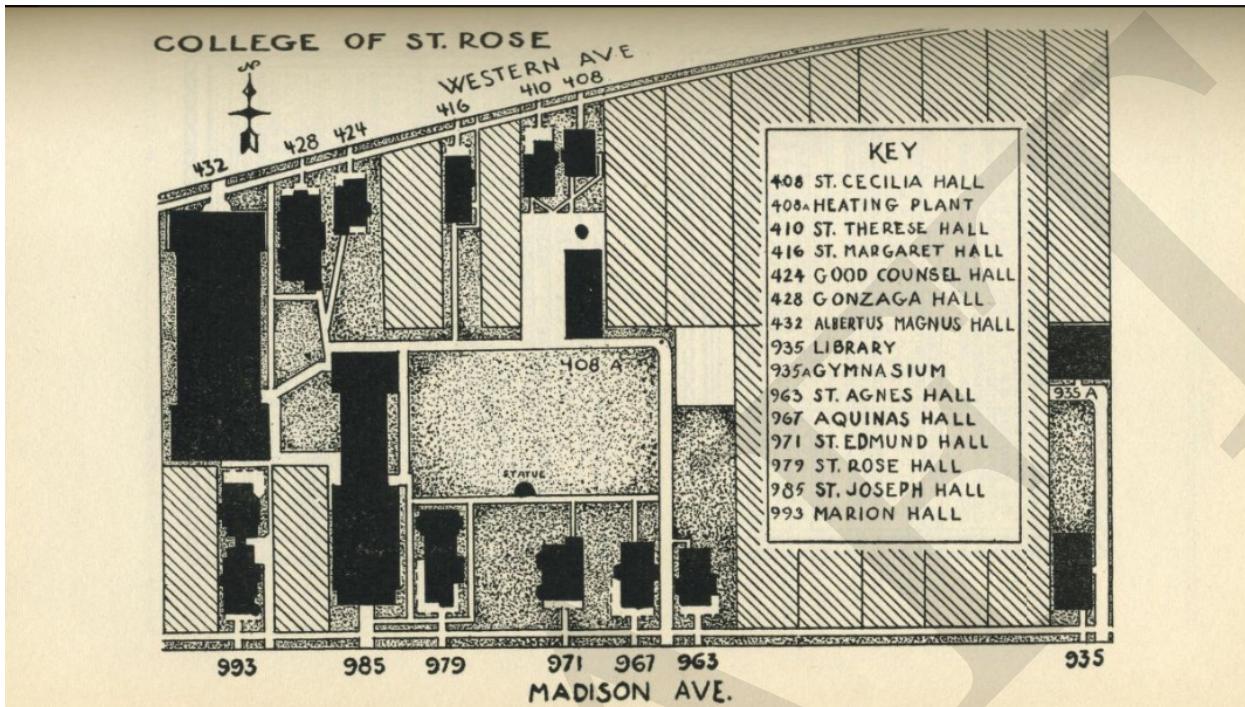


Figure 11. 1940 map of the College of Saint Rose campus. A comparison of this map and the campus map from 2010 show the College's growth over a period of 70 years. [Source: New York Heritage Digital Collections.]

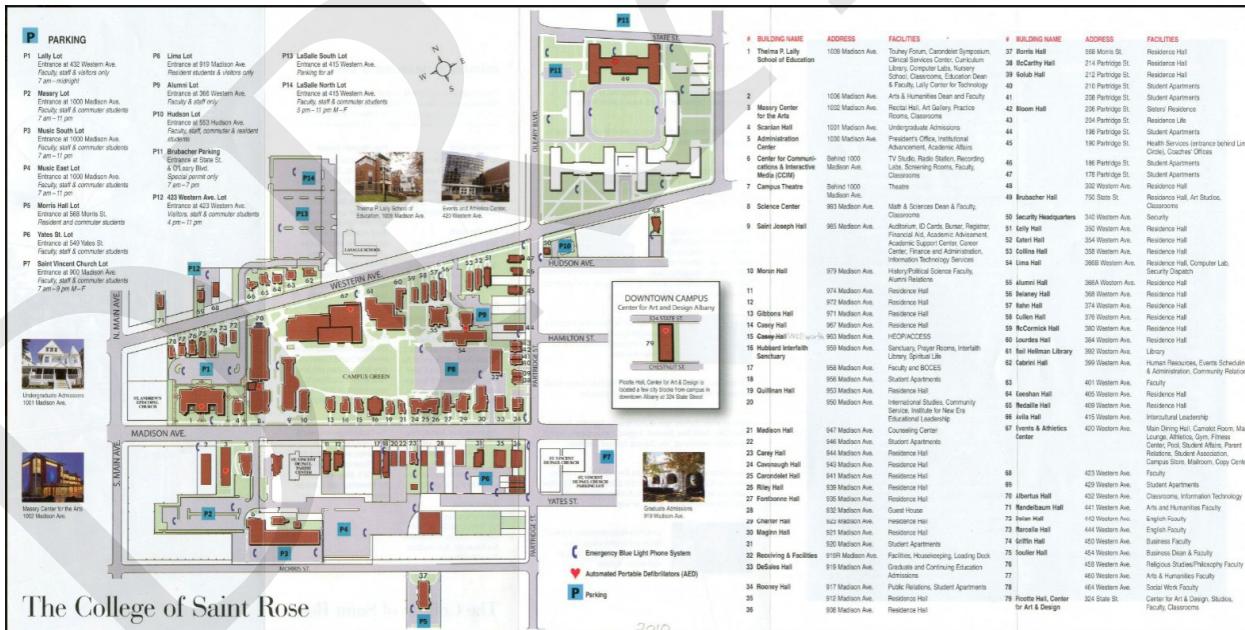


Figure 12. 2010 map of the College of Saint Rose campus. A comparison of this map and the campus map from 1940 show the College's growth over a period of 70 years. (Source: New York Heritage Digital Collections.)

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Associated Property Types

The survey area features a wide array of building types and architectural styles dating from the late 19th century to the present day, with a majority of buildings constructed in the early 20th century. Despite the improvements in transportation in Albany and the extension of the streetcar line farther west to Allen Street in 1890, development within the Pine Hills neighborhood occurred slowly. The Albany Land Improvement and Building Company, which established the original Pine Hills subdivision in 1882, met with limited success before their venture failed following the financial panic of 1893. As a result, large tracts of land were sold at auction and purchased by real estate developers and speculators who subdivided and sold parcels for the construction of dwellings or who constructed speculative housing before selling the property. As a result, the built environment of the neighborhood consists of pockets of architectural cohesion—typically on one or two blocks or on a single side of a street—which are representative of the neighborhood's incremental growth and the influences of different developers and builders. Therefore, progressions of development are more visually pronounced at the individual street level or within several adjacent blocks. Within the variation of the neighborhood's built environment, there is no obvious difference between architect-designed houses and developer/builder-designed dwellings.

Building Typologies and Architectural Styles

The disbursement of architectural styles and building typologies across the survey area is easily identifiable at the individual street level. For example, both the north and south sides of Providence Street between S. Lake Avenue and Quail Street are representative of the street's development between 1911, after the land was subdivided, and 1935 where all buildings are shown on a Sanborn map. This block contains bungalow houses with Craftsman detailing, such as those at 577 and 579, and one, 541, with elements of both the Craftsman (exposed rafter tails) and Colonial Revival (door surround) styles. The houses at 555 and 559 are both examples of the Colonial Revival style, one building with a hipped roof (555) and the other with a side-gable roof (559). The houses at 544 and 563 are unique on the block, exhibiting design elements of the Prairie style (563) and of the Neoclassical style (544), respectively. The section of S. Main Avenue between New Scotland and Woodlawn Avenues is an example of a lack of architectural cohesion between different blocks of a single street—in this case, likely due to the establishment of the Helderberg Heights subdivision, which only extended as far as Amherst Avenue. The houses to the south of Amherst Avenue are representative of popular house styles of the early 20th century, including Colonial Revival and Tudor Revival. The houses to the immediate west of Amherst Avenue to Woodlawn Avenue (this area still contains the center grassy median present on the southernmost part of the street) were all constructed in the mid-20th century or later, which is clear from their design. The most evident example of the impact of different developers and development periods on a single street is the Winchester Gables subdivision on Hansen and Woodlawn Avenues. Dan H. Winchester's planned subdivision of 60 residences was never fully realized as only 27 Spanish Eclectic style houses were constructed by 1935 (Image 1). The adjacent houses on Hansen and Woodlawn Avenues are all brick mid-century dwellings ranging

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from one to one-and-a-half stories in height, creating a drastic visual change indicative of the timeline of development on both sections of Hansen and Woodlawn Avenues (Image 2).

Architectural styles and building forms observed in the field reflect the building styles popular during the Pine Hills neighborhood's main period of development from the late 19th century into the 1960s. However, the neighborhood also contains newer buildings constructed since then which are not 50 years of age and therefore are not considered "age-eligible" by the National Park Service. The architectural styles and building forms which date to the neighborhood's primary period of development include, but are not limited to:

- Italianate (271 Ontario Street)
- Second Empire (89-91 N. Allen Street)
- Queen Anne (527 Western Avenue/10 N. Allen Street)
- Shingle (8 S. Pine Avenue, 1073 Madison Avenue)
- Colonial Revival (187 S. Main Avenue)
- Neo-Classical, Homestead Temple Front (544 Providence Street)
- Tudor Revival (245 S. Main Avenue)
- Spanish Eclectic (233 Hansen Avenue)
- Prairie (485 Western Avenue, 239 S. Main Avenue)
- Craftsman (577 Providence Street)
- Bungalow (21 Oakwood Street)
- Foursquare (1006 Madison Avenue)
- Art Deco commercial buildings (854 Madison Avenue and 1032 Madison Avenue)
- Modern
 - Tri-level: 230 Woodlawn Avenue
 - Minimal traditional: 224 Hansen
 - Ranch: 39 Peyster Street

The buildings within the survey area exhibit a range of building materials, both historic and modern replacements. Although many residences have modern replacement windows, vinyl siding, and asphalt shingle roofs, a surprising number



Image 01. North side Hansen Avenue, looking northwest. The Spanish Eclectic houses part of the Winchester Gables development are located on both sides of Hansen Avenue toward the western end of the street.



Image 02. Hansen Avenue, looking west. This photograph depicts the lack of architectural cohesion on Hansen Avenue due to different rates of development. Though not as drastic as Hansen Avenue, this pattern is found elsewhere in the Pine Hills neighborhood.

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of buildings retain historic materials, notably wood siding, wood windows, and slate roofs. The dominant exterior material is wood, found in clapboard siding, windows, and facade detailing. Brick (or brick veneer) and stucco are secondary materials present throughout. Examples of brownstone and pressed concrete are extant but rare. The most common alteration is the application of artificial siding on wood buildings. Buildings range from excellent to fair condition across the neighborhood. Most buildings appear to retain their original form and massing; for some properties this is likely due to limited space because of smaller lot sizes. By the 1960s, the Pine Hills neighborhood was close to fully built out. As a result, subsequent construction has not had a substantial visual impact on the neighborhood.



Image 03. Hudson Avenue, looking northwest. This image shows the typical two-and-one-half-story, two-bay frame dwelling prevalent throughout the survey area. This image demonstrates dwellings that have an enclosed second-story porch and those that have an open second-story porch, visible at the far left.



Image 04. Hudson Avenue, looking north. These represent a second building typology, similar to that in Image 3, but only two stories in height with a low-sloping roof, rather than a gable-front roof. Although the upper floor porches have gabled roofs in this photo, many buildings in this typology also have a second-story porch with a low-sloping roof.

Within the survey area, one prevalent building typology is the two-and-one-half-story, two-bay, gable-front dwelling with a rectangular floorplan situated on a narrow lot (Image 3). These buildings, of which most are of frame construction, typically have a full-width porch at the first story and a partial-width porch at the second story; this second-story porch may be enclosed or open and can have either a flat roof or a gable-front roof. The opposite bay in the second story often contains a bay window. These buildings are rarely interspersed among other building types; rather they were constructed in clusters on a single side, or both sides, of a street. Examples include the east side of S. Pine Avenue between Myrtle Avenue and Mercer Street and the north side

of Hamilton Street between Quail Street and Perry Place. The south side of Hudson Avenue, between Quail Street and Perry Place, has the same building form with a slight difference, namely double gables—one over the second-story porch and the second over the adjacent bay window. This variation, which also includes pediments above the entry (or entries) to the first-story porch, can also be found in the frame buildings that are part of the College of Saint

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Rose complex. A second variation of this typology, only two stories in height, is seen on the north side of Hudson Avenue between Ontario and Quail Streets where the building has a low-sloping roof, rather than a gable-front roof (Image 4). With this variation, the roof above the second-story porch is either gabled or flat, not necessarily mirroring the roof form of the building.

A second building typology in the northeast section of the survey area includes a two-story over basement, two- or three-bay rectangular building with a low-sloping roof (Image 5). Most are frame buildings. The elevated entrance at the first story is located in one of the two outer bays with equally-sized windows in the remaining bays at the first and second stories. Entrances are either flush with the facade plane or recessed. The entry stair is typically of wood or concrete construction and the foundations of each building are often constructed of brick. The building cornice tends to be the most elaborate detail of the facade, although some buildings have window hoods which contribute to their Italianate appearance, such as the dwelling at 539 Hamilton Street. Cornices can be simple in design with modillions and small dentils or may be elaborate with decorated brackets, modillions, and friezes, like those at 533 Hamilton Street and 528 Hudson Street (Image 6). Additional examples of this typology, including a brick dwelling at 271 Ontario Street, can be found on Ontario Street between Hudson Avenue and Hamilton Streets.



Image 05. Ontario Street, looking west. The three buildings at the far left are examples of the two-story over basement typology found in the northeast section of the survey area.



Image 06. Detail view of 528 Hudson Street, demonstrating typical cornice detailing found across the building type shown in Image 5.

A third building typology, which is not as prevalent, is a two-and-one-half-story building with a gambrel roof whose gable end is oriented toward the public right-of-way. These buildings typically include a full-width porch at the first story, a bay window in the second story, and a tripartite window in the half-story. Examples of this type are located at 234-240 Quail Street; fenestration at the first story of these dwellings includes an entrance to the south and a paired window to the north.

Another building typology found throughout the survey area is the “Homestead Temple Front,” denoted by its gable-front orientation with pedimented gable and two-story porch at

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the facade (Image 7). Examples of this building type which exhibit high-style architectural features can be found at 544 Providence Street and 1 Norwood Avenue (Image 8). Examples of this building typology that are more simple in design, which are more common in the survey area, are located on Warren Street and the west side of S. Pine Avenue between Myrtle Avenue and Mercer Street (80-88 S. Pine Avenue).

Setting

The lots within the Pine Hills subdivision established by the Albany Land Improvement and Building Company were originally sold with covenants, restricting the use of the property, sometimes noting the minimum cost that would be spent to construct a dwelling on the property, and specifying setbacks from the public rights-of-way. For example, deeds indicated that buildings on Pine Avenue had to have a 40-foot setback from the road while buildings on Allen Street had to have a 60-foot setback from the road; it is unknown why the setbacks for each street were different. In addition to the houses on Allen Street and Pine Avenue, the houses on S. Main Avenue from New Scotland Avenue to Woodlawn Avenue (an area which includes the Helderberg Heights subdivision) have a large setback from the main road. Setbacks on other streets are noticeably smaller, especially in the northeast section of the survey area on roads such as Hudson Avenue, Hamilton Street, and Yates Street. Within the survey area, it is common for property lots on one side of a street to be elevated while lots on the opposite side are level. Buildings are typically situated parallel to the property line fronting the street. However, in some street sections such as on the west side of W. Erie Street between Barnet Street and Fairview Avenue, the buildings



Image 07. Myrtle Avenue, looking southwest. The buildings shown in this image are typical examples of the Homestead Temple Front building type found in the Pine Hills neighborhood.



Image 08. Norwood Avenue, looking west. This building represents the Homestead Temple Front building type in the Pine Hills neighborhood which exhibits high-style architectural features. Unlike the simple, vernacular examples in Image 7, high-style examples such as this are rare within the survey area.



Image 09. W. Erie Street, looking west. This image of houses on W. Erie Street between Barnet Street and Fairview Avenue demonstrates the staggering of buildings on a street through the slight angling of each building on their respective lots.

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are slightly angled on the lots so that they have a staggered appearance (Image 9). The same building positioning occurs on Oakwood Street between Fairview and New Scotland Avenues.

The survey area has a street grid characterized by areas of rectilinear street plans with short blocks and mostly uniform lot and house sizes and areas of curvilinear streets which were laid out during the 1910s, coinciding with the early rise of the automobile. Streets which follow a grid pattern (though lot sizes vary from block to block) are located in the eastern section of the survey area north of Woodlawn Avenue, south of Hudson Avenue, west of S. Lake Avenue, and east of Partridge Street. Based on historic maps, these streets are extensions of those laid out to the east of Washington Park. These maps also show that of these roads, the streets closest to the streetcar line on Madison Avenue were the first to be paved, suggesting they were the earliest streets that were settled. The extension of the rectilinear street grid to the east and the concentration of early construction along the streetcar route aligns with historic patterns of development within streetcar suburbs. The street grid west of Partridge Street, though it contains extensions of streets east of Washington Park, is much more irregular with street blocks of varying sizes, curved streets, and roads (south of Myrtle Avenue and east of Allen Street) that do not run parallel to major east-west and north-south thoroughfares.

Block and lot sizes within the survey area are also irregular, varying in shape and size. The shape of blocks is affected by the street grid; in areas where the street grid is not rectilinear, the blocks are similarly asymmetrical in shape. Though lots vary in size across the Pine Hills neighborhood, lots on each side of a street block are typically similar in size. Most lots within the survey area are narrow with larger rear yards and small side yards.

Greenspace within the survey area is predominantly located south of Main Avenue, consisting of public parks, tended landscapes, and school grounds. The public parks within the Pine Hills neighborhood include Beverwyck Park, Ridgefield Park, Woodlawn Park, and the Madison Avenue playground. St. Mary's Park, part of the Albany High School grounds, is also a large area of greenspace. The tended landscapes primarily occur in areas where three streets intersect (Image 10).



Image 10. Tended landscape at the intersection of Peyster, Providence, and W. Erie Streets.

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Building Use

The survey area contains a mix of single- and multi-family residences and apartment buildings. Based on the City of Albany's land use, building, and property data, higher concentrations of multi-family residences are generally located in the northeast corner of the survey area, bound by Washington Avenue to the north, S. Lake Avenue to the east, Park Avenue to the south, and Partridge Street to the west. Alternatively, there are substantially less multi-family residences and more single-family residences in the southwest section of the survey area, bounded by Myrtle Avenue to the north, Norwood Avenue and Partridge Street to the east, New Scotland Avenue to the south, and S. Manning Boulevard to the west. The dataset also includes year built data for many of the properties; although the data is not the most accurate, it shows that clusters of the oldest buildings, constructed between the 1880s and 1910, are located within the northeast section of the survey area (bounded by the same streets as the multi-family concentration of residences), on N. Pine Avenue and N. Allen Street, and several other areas along Quail and Providence Streets and along Myrtle Avenue and Morris Street. The older building stock in the northwest section of the survey area corresponds to the original Pine Hills development and the subsequent sale of adjacent land tracts at auction in the early 1890s. It is also unsurprising that older buildings are located in the northeast corner and south along Quail Street due to the area's proximity to early transportation routes prior to their extension west to S. Allen Street and S. Manning Boulevard in 1890 and 1906.

Multi-family housing in the Pine Hills neighborhood was shaped, in part, by the lack of on-campus housing for increasing student populations at the SUNY Albany downtown campus and the College of Saint Rose campus. The former campus is located east of S. Lake Avenue between Western and Washington Avenues and the former College of Saint Rose campus is located within the survey area between Western and Madison Avenues to the north and south, and Partridge Street and Main Avenue to the east and west. The SUNY Albany Alumni Quad, a discontiguous part of the downtown campus, is located within the survey area, bounded by Partridge, State, and Ontario Streets, and Western Avenue.

Beginning in the 1960s, SUNY Albany's student population increased rapidly and, as a result, there was not enough on-campus student housing to meet demand.⁴⁹ Similarly, the College of Saint Rose experienced an influx of students when the school became co-ed in 1969.⁵⁰ Since its founding in 1920, the College of Saint Rose purchased adjacent frame dwellings and converted them into dormitories, classrooms, and offices. However, there was still not enough housing for students to live on campus. Beginning in the 1960s, SUNY Albany and College of Saint Rose students found off-campus housing in the Pine Hills neighborhood, particularly in the flats that became available as more families moved out into the suburbs. The increase of students renting off campus led to the conversion of houses into multi-unit buildings to accommodate more students. The areas of the Pine Hills neighborhood most impacted by the on-campus student housing shortage are those closest to each campus, namely the adjacent streets around

⁴⁹ Norder, *The History of Here*, 164-165.

⁵⁰ Norder, *The History of Here*, 167.

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the College of Saint Rose campus and the northeast section of the survey area, which has a high concentration of flats. In addition to converted housing, the College of Saint Rose—prior to its closure—altered the surrounding built environment through the demolition of older buildings for the construction of bigger dormitories, academic buildings, and parking lots to accommodate commuting students and faculty.

The survey area also has several clusters of apartment buildings which likely date to the late 1930s or 1940s; most are not depicted in 1935 Sanborn maps but appear in historic aerial imagery from the 1950s. There is a stand-alone apartment building, the “Westerly Apartments,” at 38 S. Main Avenue; this apartment building was constructed in 1912 by Antonio De Dominicus.⁵¹ Most of the apartment buildings located within clusters of three to four in one area are constructed of red brick and are relatively small, only two stories in height. Some, such as the Westerly Apartments and the buildings at 204 and 210 S. Allen Street, are larger in height and in building footprint. The highest concentration of individual clusters of apartment buildings is on S. Allen Street between Cortland Street and New Scotland Avenue; the reason for the number of apartment buildings in this location is yet unknown. Identified groupings of apartment buildings that share similar features include:

- 144, 148, and 152 Manning Boulevard
 - Key features include: two stories in height, three-bay facade with a projecting center block at the first story. Detailing includes a denticulated limestone cornice and brick jack arches with limestone keystones at both single and paired windows. The door surround has a multi-light door flanked by sidelights with fanlight and limestone arch above. Both the building and projecting block at the facade have brick corner quoins.
- 167, 169, 171, 173 S. Allen Street
 - Key features include: two stories in height, three-bay facade with a projecting center block at the first story. Detailing includes limestone jack arches above paired windows and a brick stepped parapet with octagonal limestone detail at center. The door surround consists of a multi-light over one-panel door flanked by sidelights with fanlight and limestone arch above.
- 204 and 210 S. Allen Street
 - Key features include: three stories in height, irregular fenestration at all elevations, and an east-west building orientation. Detailing includes brick corbeling at the cornice and brickwork patterns at the elevation fronting S. Allen Street.
- 265, 271, 275 S. Allen Street
 - Key features include: two story over basement, three-bay facade with a central entrance, and patterned brickwork created through the use of yellow and brown bricks. Detailing includes geometric patterns at the facades and most of the side elevations. The door surround consists of a multi-light door flanked by sidelights with a fanlight above. The pedimented portico over the entrance is supported by rounded columns.

⁵¹ Weiss “From Tracks to Tracts,” 215.

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- 94, 96, 98, 100 N. Pine Avenue
 - Key features include: gable-front roof, two stories in height, three-bay facade with a projecting center block. The door surround consists of multi-light door with sidelights and a fanlight above. The windows have brick sills and brick soldier course lintels.

The Pine Hills neighborhood was nearly fully built out by the 1960s, with the highest percentage of buildings constructed between the 1880s and 1935. Most of the newer buildings, which are relatively limited in number, present in the neighborhood are linked with institutions and apartment redevelopments. Therefore, the area retains much of its early 20th century character evident in the various architectural styles and building forms located throughout the neighborhood. Although the dwellings along streets exhibit variations in style and form, there are areas within the neighborhood with concentrations of buildings which are visually distinct, possessing shared architectural characteristics, some of which are unique within the survey area.

FINDINGS AND RECOMMENDATIONS

Existing Evaluated Properties

The survey area contains three historic resources that are listed on the New York and National Registers of Historic Places and 17 buildings that have been determined eligible for listing. Most of these buildings are significant under Criterion C for Architecture and under Criterion A for their associations with broader themes within Albany, including Community Planning and Development, Religion, and Education.

Listed Properties:

- Calvary Methodist Episcopal Church – 256 Lawrence Street. State Register listed in December 2007, National Register listed in February 2008 under Criteria A and C and Criteria Consideration A, with the Period of Significance of 1914-1957.
- St. Andrew's Episcopal Church – 10 Main Avenue. State Register listed in October 2004, National Register listed in January 2005 under Criteria A and C and Criteria Consideration A, with the Period of Significance of 1897-1954.
- First Congregational Church – 405 Quail Street. State Register listed in April 2014, National Register listed in May 2014 under Criteria A and C and Criteria Consideration A, with the Period of Significance of 1917-1961.

Eligible Properties:

- Presbyterian Church – 820 Madison Avenue
- Vincentian Institute – 844 Madison Avenue
- Steamer No. 10 Theater – 1123 Madison Avenue
- New Scotland Elementary School – 385 New Scotland Avenue
- St. Teresa of Avila Convent – 397 New Scotland Avenue
- St. Teresa of Avila Grammar School – 425 New Scotland Avenue
- St. Teresa of Avila Rectory – 431 New Scotland Avenue
- St. Teresa of Avila Church – 435 New Scotland Avenue
- Albany Fire Department Engine 11, Ladder 5 – 441 New Scotland Avenue
- Pierce Hall and Sayles Hall (SUNY Albany Alumni Quadrangle) – 221 Ontario Street
- Brubacher Hall (SUNY Albany Alumni Quadrangle) – 750 State Street
- Alden Hall (SUNY Albany Alumni Quadrangle) – 295 Western Avenue
- Waterbury Hall (SUNY Albany Alumni Quadrangle) – 311 Western Avenue
- Quail Street Apartments – 245-263 Quail Street
- Elmendorf Twin Home – 1 N. Pine Avenue and 545 Western Avenue

Additional properties determined ineligible are noted on the following table:

FINDINGS AND RECOMMENDATIONS

House No.	Address	Historic Name	Historic Status
55	Glenwood Street		Not Eligible
17	Grove Avenue		Not Eligible
427	Hudson Avenue		Not Eligible
430	Hudson Avenue	Parkview Apartments	Not Eligible
536	Hudson Avenue		Not Eligible
775	Lancaster Street		Not Eligible
824	Lancaster Street		Not Eligible
474	Morris Street		Not Eligible
588	Morris Street		Not Eligible
674	Myrtle Avenue		Not Eligible
455	New Scotland Avenue		Not Eligible
35	N. Main Avenue		Not Eligible
80	N. Main Avenue	Maj. James J. O'Donovan AFRC; 1950s Army Reserve Training Center	Not Eligible
55	N. Pine Avenue		Not Eligible
56	N. Pine Avenue		Not Eligible
702	Park Avenue		Not Eligible
779	Park Avenue		Not Eligible
864	Park Avenue		Not Eligible
266	Partridge Street		Not Eligible
358	Partridge Street		Not Eligible
627	Providence Street		Not Eligible
79	Ryckman Avenue		Not Eligible
217	S. Allen Street		Not Eligible
313	S. Allen Street		Not Eligible
93	S. Main Avenue		Not Eligible
160	S. Pine Avenue		Not Eligible
173	S. Pine Avenue		Not Eligible
892	Warren Street		Not Eligible
700	Washington Avenue	Albany High School	Not Eligible
780	Washington Avenue	Naval Reserve Center	Not Eligible
391	Western Avenue	La Salle School	Not Eligible
517	Western Avenue	Albany Public Library Pine Hills Branch	Not Eligible
514	Yates Street		Not Eligible

Seven previous surveys have been conducted in areas that both overlap and are within the survey area. In 1976, a Historic and Natural Districts Inventory Form was completed for the Pine Hills Historic District by the City of Albany Bureau of Cultural Affairs. The inventory form contains

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a brief history of the Pine Hills neighborhood and describes the streets comprising its boundaries: Manning Boulevard to the west, Washington Avenue to the north, Lake Avenue to the east, and Woodlawn Avenue to the south. Research has not uncovered any recommendations or proposed boundaries resulting from this survey. The SUNY Albany Downtown Campus Survey of 1992 overlaps with the survey area, encompassing the SUNY Albany Alumni quadrangle. Within the boundaries of the Pine Hills neighborhood survey area, the 1992 survey identified five National Register-eligible buildings, all dormitories constructed between 1935 and 1961. The campus was determined to be eligible under Criterion A for its association with the early 20th century expansion of the State Normal School System and under Criterion C as an intact, representative example of a planned Georgian Revival college campus in New York State. Several archaeological surveys have occurred throughout the survey area, including: Phase IB Archaeological Investigations of the Hansen and Ryckman Avenues Flood Mitigation Project Albany County New York; Phase IA Literature Review and Archeological Sensitivity Assessment, 563 New Scotland Avenue Mixed Use Project; Phase IA Archaeological Survey, 77th Regional Readiness Command Facilities, 77th Army Reserve Installation Management—MAJ James J. O'Donovan ARFC; Phase II Archeological Site Evaluation, St. Mary's Cemetery Finds And Archeological Monitoring Report for the Albany High School Expansion Project; Albany High School Expansion, Phase IB Archeological Investigation. No findings from the archaeological surveys are available for review.

Immediately adjacent to the survey area's eastern boundary are four local historic districts, one of which is listed on the State and National Registers of Historic Places. Due to their proximity to the survey area, their histories are closely connected to the themes and events that shaped the Pine Hills neighborhood. These districts include:

- Elberon Triangle Historic District, locally designated in 1983.
- Washington Park Historic District, National Register listed in 1972, State Register listed in 1980, and locally designated in 1983.
- South Lake Avenue Historic District, locally designated in 1991.
- Upper Madison Avenue Historic District, locally designated in 1992.

The establishment of Washington Park encouraged westward expansion out of the city center during the late 19th and early 20th centuries by providing a scenic area for the city's wealthy to build their houses. The Washington Park Historic District includes dwellings that face the park on State and Willett Streets and S. Lake and Madison Avenues. The buildings within the eastern half of the district primarily consist of ornate brick and brownstone rowhouses while buildings to the west include a mix of free-standing houses and rowhouses. The South Lake Avenue Historic District includes large single-family dwellings which date to the late 19th and early 20th centuries and are situated on the west side of S. Lake Avenue. This district possesses similar building forms and architectural styles found in the Pine Hills survey area. Buildings in the Upper Madison Historic District were constructed by prominent Albany businessmen between 1880 and 1920. These buildings are high-style examples of their respective architectural styles and sit on large property lots. The Elberon Triangle Historic District has a high concentration of brick and brownstone rowhouses. This building type is connected to rare examples of rowhouses in the Pine Hills survey area, which include the brownstone rowhouses on Quail Street and brick rowhouses at the eastern end of Hudson Avenue.

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The varied building forms, architectural styles, property lot sizes, and building setbacks found within the survey area are representative of the gradual growth of the Pine Hills neighborhood's built environment and the influences of the builders, real estate developers, and architects responsible for subdividing and selling the land and constructing speculative housing. Due to these varied stakeholders and incremental development, the architecture of the survey area represents a patchwork quilt with nodes of architectural cohesion that may or may not be in harmony with the adjacent area. Therefore, the survey area as a whole does not appear to have a sufficiently unified significance or historic integrity necessary for listing in the State and National Registers of Historic Places as a potential single historic district. Rather, this survey identified several nodes within the larger survey area which merit future intensive-level survey as potential historic districts due to similar architectural features and connections to broader themes within the survey area and history of the development of Albany's built environment. No individual buildings were found to possess the level of significance needed for listing on the National Register of Historic Places.

This survey also identified themes and topics for future study based on building types, known individuals and organizations who contributed to the growth of the neighborhood, and the establishment of subdivisions on the physical development of the neighborhood.

Areas Recommended For Intensive-Level Survey

The following section includes concentrations of buildings identified during field survey that are architecturally distinct within the survey area and/or possess a connection to a theme or pattern within the neighborhood. The buildings in each identified potential historic district are primarily grouped together due to shared architectural features and characteristics, a common theme, or because they were part of a known subdivision. Each contains a map inset showing the general boundaries of the area; the inset is taken from the map found in Appendix A. The properties denoted within the Appendix B Property List as part of each area will serve as a guide for future intensive-level survey, which will help to establish more specific boundaries. Buildings within each area have been assigned a contributing or non-contributing status based on the efforts of this reconnaissance-level survey and subsequent research. However, it should be noted that contributing or non-contributing status should be reevaluated and/or confirmed as part of an intensive-level survey.

Contributing properties are those that are representative of the potential significance of the area, whether that be architectural style or building type or their connection to a broader historic context within the neighborhood or city. This determination was easily made in potential districts which possessed architectural significance. However, assigning a contributing/non-contributing status to buildings within the College of Saint Rose district, potentially significant under Criterion A, was less clear. Many of the buildings that were historically part of the campus, even during the early 20th century, were purchased by the school rather than constructed by the school. As a result, the campus does not have a

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uniform appearance. In some instances, there is no evident connection to the College based on physical appearance alone, aside from small plaques identifying the name or purpose of the building. Therefore, buildings that were assigned a status of contributing are known to have been historically part of the campus or that have a plaque denoting their connection to the College. Any property that does not meet the National Park Service “age eligible” criteria, which includes properties less than 50 years of age, was determined to be non-contributing. Additional intensive-level architectural survey is needed to confirm the status of each building within the potential College of Saint Rose historic district, particularly in regard to remaining integrity where alterations have occurred.

Dan H. Winchester Developments

Dan H. Winchester was an early-20th century developer who purchased property within the Pine Hills neighborhood, selling both empty lots and speculative housing. Winchester has two known developments within the survey area: Winchester Villas and Winchester Gables. Despite their shared connection with Winchester, both nodes are recommended for individual area designation due to their marked visual appearance and the distance between each planned development. However, research into one development will likely lead to findings and resources applicable to both areas due to their association with Winchester.

Winchester Villas

Potential Significance: Winchester Villas may possess significance at the local level under Criterion A in the area of Community Planning and Development. The potential boundaries encompass the original planned extents of Dan H. Winchester’s development; these boundaries also reflect the area’s potential period of significance, 1926-1935. This recommended period of significance begins with the initial planning of the development in 1926 and ends in 1935 at which time all of the buildings were constructed. Winchester Villas is also located within the Helderberg Heights subdivision, established in the early 20th century by Ten Eyck T. Mosher. Both are representative of the role of developers in the growth of the Pine Hills neighborhood—through the establishment of planned developments and subdivisions—and concurrent westward expansion of residential development in Albany during the first half of the 20th century. Most of the buildings within Winchester Villas exhibit architectural features of the Tudor Revival style and further research may uncover whether they were designed by the same architect. The Tudor Revival dwellings in Winchester Villas are notable as they contribute to the significant number of Tudor Revival houses in Helderberg Heights, which possesses the highest concentration of Tudor Revival houses within the survey area. Future intensive-level survey efforts may result in one district that encompasses both the Winchester Villas and Helderberg Heights areas identified in this survey; the results of future intensive-level survey of both areas will inform the boundaries and statements of significance for both.

Description: The Winchester Villas subdivision consists of six houses on the east side S. Main Avenue between Fairview Avenue and Amherst Avenue. Notably, this subdivision is also

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located within the Helderberg Heights subdivision; it is unknown which subdivision was first created. Like other properties lining S. Main Avenue, the six houses have a deep setback from the wide sidewalk. All but one of the houses, that at 184 S. Main Avenue, exhibit elements of the Tudor Revival style, particularly in their roof forms. One of the buildings has a gable-front roof with additional front-facing gable volumes with eaves of varying heights; where they exist, the smaller volumes typically project from the main block. Three of the houses possess a dominant front-gable roof that is capped by a hip and fronted by a front-facing gable volume which is extended forward from the main block and contains the primary entrance. One of the buildings possesses a side-gable roof with the only Tudor Revival element consisting of a projecting gable-front volume containing the primary entrance. The final building, with its gambrel roof form, has no influences of the Tudor Revival architectural style, but is instead representative of the Colonial Revival style. Each house has a driveway to the south which extends to the rear (east) of the property where a garage is located.

Winchester Gables

Potential Significance: Winchester Gables may be significant at the local level under Criterion A within the theme of Community Planning and Development. Winchester Gables may also be considered significant in the area of Architecture at the local level under Criterion C as the largest concentration of Spanish Eclectic style buildings in the city of Albany. Although other Spanish Eclectic houses can be seen in other areas of the Pine Hills neighborhood, they are typically the only ones of that style on a street. The revival style of each building and the garage incorporated into the massing together represent an early 20th century residential typology that was centered around the rise of the automobile. This typology and its connection to the larger theme of early automobile suburbs also contribute to the area's significance under Criteria A and C. Dan H. Winchester planned the Winchester Gables development in 1928 and constructed the first three houses that year. Of the 60 residences that Winchester intended to construct in Winchester Gables, only 27 were built, possibly due to the beginning of the Great Depression in 1929. Therefore, the potential boundaries for Winchester Gables encompass the 27 extant Spanish Eclectic style bungalows on Hansen, S. Main, and Woodlawn Avenues. Further study as part of future intensive-level survey may uncover the original boundaries for the Winchester Gables development and thereby could result in expanded boundaries. The recommended potential period of significance is based on the construction dates of the 27 Spanish Eclectic buildings within the area, beginning in 1928 with the construction of the first dwellings and ending in 1935 when all of the buildings were constructed. Similar to the boundaries, the results of future intensive-level survey may lead to a revised period of significance.

Description: The Winchester Gables development consists of 27 Spanish Eclectic style bungalows constructed between 1928 and 1935, located across Hansen, S. Main, and Woodlawn Avenues. All are of frame construction and most are clad with stucco or brick. All houses have a garage, though the location varies. The houses on the north side of Hansen

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Avenue all have an attached, single-car garage to the west of the house. The garages all have a low parapet capped with terra cotta coping, behind which is a flat roof; the exterior treatment of each garage matches the house. The dwellings on the south side of Hansen Avenue and the north side of Woodlawn Avenue have garages at the rear of the house located within the basement, which is below grade but exposed due to the sloping terrain. The garages and driveways of each of these dwellings are accessible via an alley, which opens onto Hansen Avenue and W. Erie Street, that extends behind the buildings lining each side of this block. For the five Spanish Eclectic style bungalows on the south side of Woodlawn Avenue, the placement of the attached garage varies from the rear of the house, to the east elevation, to one building with the garage located at the front. Of the houses constructed on the neighboring streets, the 27 buildings within the Winchester Gables development are the only ones with attached garages.

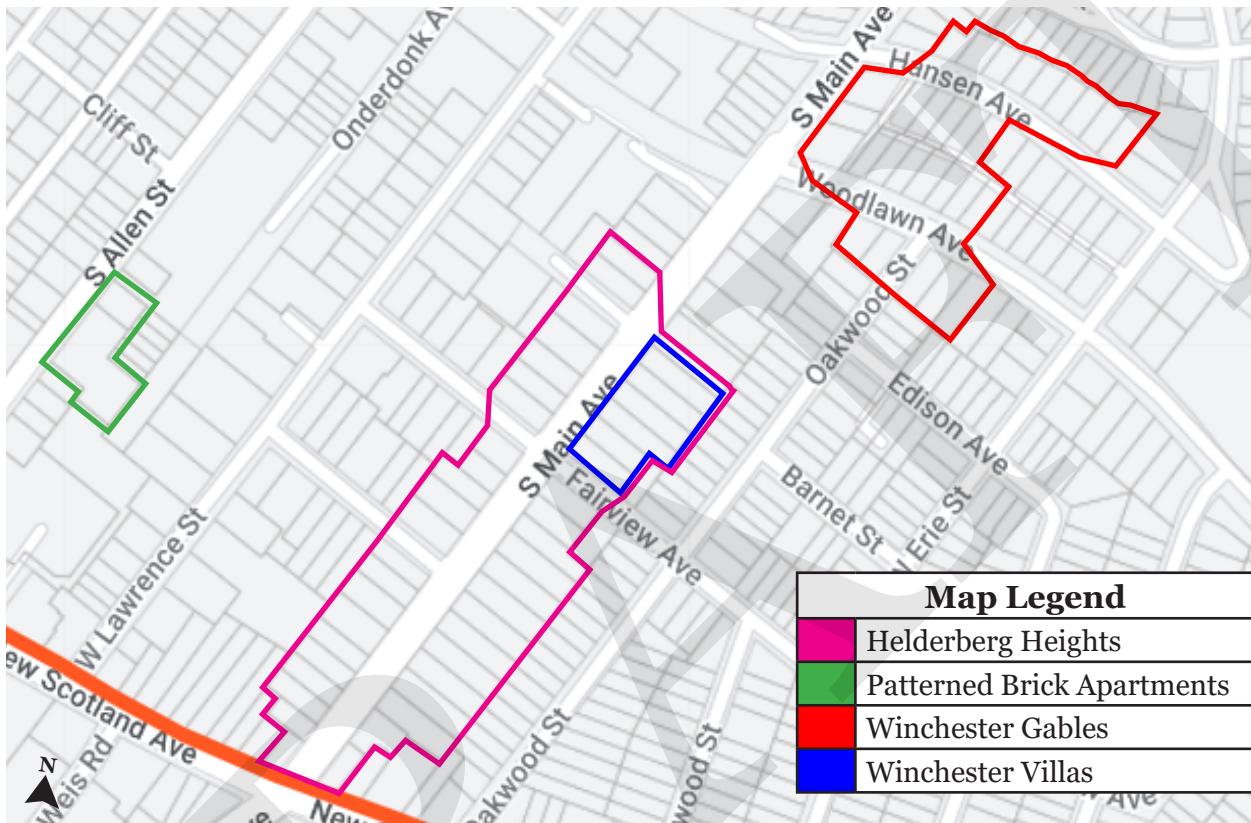


Image 11. 233 Hansen Avenue, looking northwest. This dwelling was a model home constructed by Winchester for potential owners to view.

Each building has a rectangular floorplan, and all have a gable-front projection at the facade, next to which is either a tower or a side-gabled roof section. The gabled roofs are clad with terra cotta Spanish tiles; the rear of each dwelling has a low-sloping roof, often with a terra cotta coping. The different plans that were available for owners to choose from are somewhat evident from the elements at the facade that change, including the presence of a tower and the tower shape; the existence of a chimney at the gable-front projection; and the entrance treatment, whether within a square tower, underneath a recessed porch with arched openings, or flush with

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the facade wall plane. Most of the projecting gables at the facade contain a tripartite window. A majority of the buildings are clad with stucco; most stucco coatings are simple, though there are a few houses where the stucco is patterned. Four houses are clad with brick—three on S. Main Avenue and one on Woodlawn Avenue. Only two houses are clad with wood shingles, both located on Woodlawn Avenue.



Boundary map depicting the Winchester Gables and Winchester Villas potential districts. These boundaries are a guide and starting point for future intensive-level survey. Additional survey should evaluate the boundaries proposed in this survey and confirm the contributing or non-contributing status of each property within each defined area.

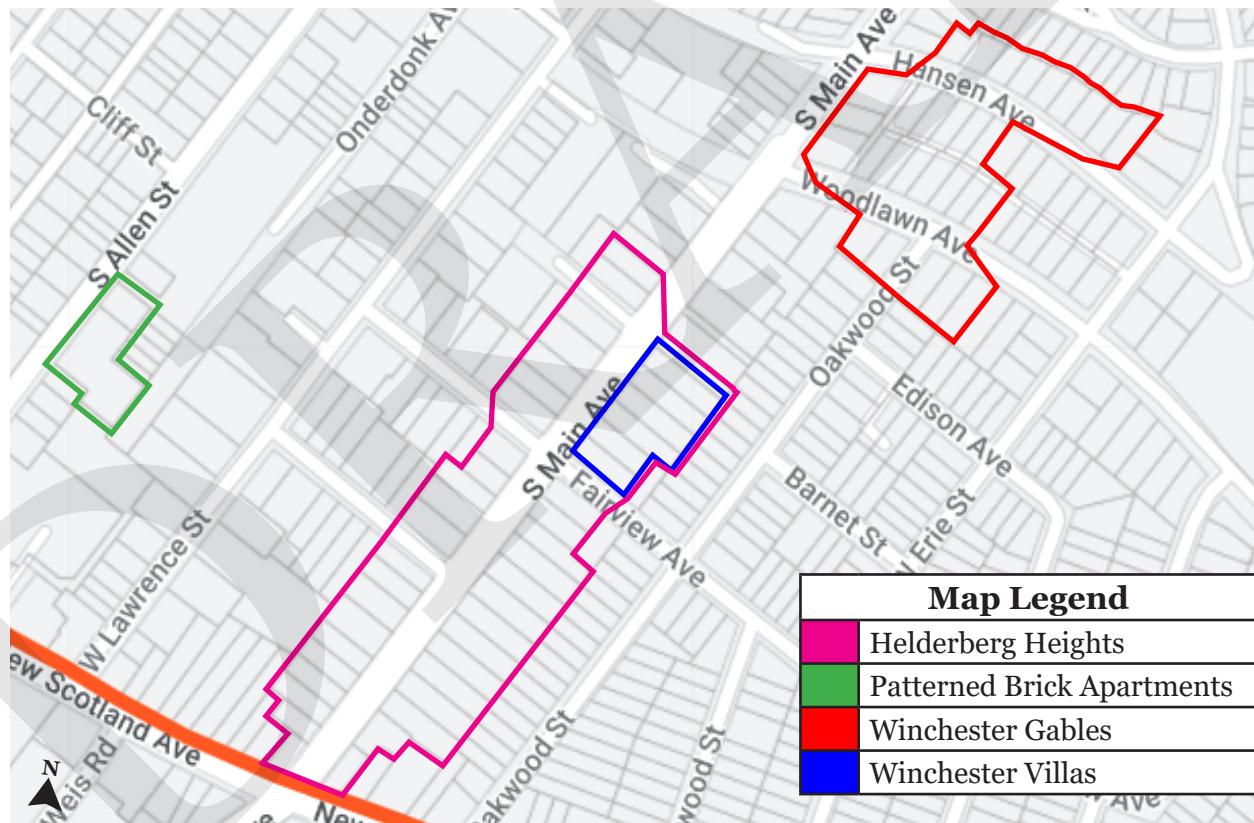
Helderberg Heights

Potential Significance: The Helderberg Heights subdivision, established by Ten Eyck T. Mosher, is potentially significant at the local level under Criterion C in the area of Architecture for its concentration of Tudor Revival style dwellings within the Pine Hills neighborhood and for its landscaped street, which is the only street with a parkway within the survey area. Although it is unknown when Mosher established the subdivision, all 39 dwellings were constructed by 1935. Therefore, 1935 can be considered as a potential period of significance based on the findings of this reconnaissance-level survey; the research conducted as part of a future intensive-level survey will likely result in a better understanding of the timeline for this subdivision and subsequently further refine this period of significance. The boundaries for the area follow Mosher's original development and include a total of 39 buildings. The boundaries of this subdivision also encompass Winchester Villas, a development planned by Dan H. Winchester in

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1926. Both developments are representative of the role of developers in the growth of the Pine Hills neighborhood—through the establishment of planned developments and subdivisions—and concurrent westward expansion of residential development in Albany during the first half of the 20th century. Therefore, it is possible that the Helderberg Heights subdivision also possesses significance at the local level under Criterion A in the area of Community Planning and Development. Future intensive-level survey efforts may result in one district that encompasses both the Winchester Villas and Helderberg Heights areas identified in this survey; the results of future intensive-level survey of each area will inform the boundaries and statements of significance for both.

Description: The Helderberg Heights subdivision encompasses S. Main Avenue from New Scotland Avenue north to Amherst Avenue. The subdivision contains 39 buildings, all of which were constructed by 1935. The street has a tree-lined parkway bisecting the road with streetlights positioned at even intervals along each strip of parkway. The houses are located on spacious lots and most have a large setback from the sidewalk. The buildings are reflective of popular 20th century architectural styles, notably the Tudor Revival and Colonial Revival styles. Bungalows, though not as common, are also present on this street. Within this street is a smaller group of houses developed by Dan Winchester in 1926, Winchester Villas.



Boundary map depicting the Helderberg Heights potential district. The boundaries for this area are a guide and starting point for future intensive-level survey. Additional survey should evaluate the boundaries proposed in this survey and confirm the contributing or non-contributing status of each property within a defined area.

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Rough-Faced Stone and Concrete Houses on N. Pine Avenue and Lancaster Street

Potential Significance: The rough-faced stone and concrete houses on N. Pine Avenue and Lancaster Street may be significant at the local level under Criterion C in the area of Architecture. The proposed boundaries encompass the eight rough-faced stone and pressed concrete buildings on N. Pine Avenue and Lancaster Street. Because these buildings are not all adjacent to one another, the proposed boundaries include properties that are not of this building type but whose inclusion was necessary to prevent the creation of a discontiguous district. It is unknown when the first of these buildings was constructed. However, maps indicate that all buildings were constructed by 1909; therefore, 1909 can be considered a potential period of significance based on the results of this reconnaissance-level survey. Additional research conducted as part of future intensive-level survey will help to further define the period of significance.

The construction of four of these houses can be definitively attributed to the Albany Material and Construction Company. Future research may be able to uncover additional information about the remaining four buildings, such as a shared architect and/or ties to the Albany Material and Construction Company, that would serve to connect all eight buildings. Further study of the Albany Material and Construction Company could support a significance argument under Criterion A in the area of Community Planning and Development due to the company's connections to the wider city—as they were responsible for the construction of at least 225 buildings within the city—and for their association with the westward expansion of residential development in Albany.

Description: Situated in the northwest section of the survey area near the intersection of N. Pine Avenue and Lancaster Street, is a group of eight houses that are visually distinct within the surrounding streetscape. These buildings, constructed of rough-faced stone and concrete, exhibit a marked contrast to the predominant brick and wood material fabric of the neighborhood. Seven of the eight dwellings were constructed using pressed concrete blocks while the house at 91 N. Pine Avenue is faced with randomly laid rough faced stone or concrete but possesses the same form and facade fenestration as the building at 89 N. Pine Avenue on the opposite corner. The use of these materials sets these buildings apart from others in the immediate area and greater Pine Hills neighborhood. In addition, the houses at 71, 91, and 85 N. Pine Avenue and 872 Lancaster Street are further visually connected by the use of red mortar to point in between the stone. Future survey efforts should focus on finding evidence of an association between all eight buildings and the Albany Material and Construction Company.

All buildings were constructed by the time the 1909 Sanborn map was drawn. All dwellings on N. Pine Avenue and Lancaster Street are Four Square houses—two-and-one-half-stories in height with symmetrical facades and hipped roofs. A full-width porch with a hipped roof extends across the facade at the first story; the porches are made of both stone and wood elements; the amount of each material used varies between each house. Fenestration at the facade is similar at 71 and 85 N. Pine Avenue, consisting of two bays: one bay contains a bay window in each story one which contains an entry (at the first story) and a narrow one-over-one window at the second

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story. At 63 N. Pine Avenue the bay window is only located in the second story. Fenestration of the four houses on Lancaster Street is similar to those on N. Pine Avenue, however the location of the bay windows is different. On Lancaster Street, the bay windows in each story are positioned diagonally from each other rather than appearing in the same bay in the first and second stories.

The western roof slope of each house on N. Pine Avenue contains a gabled dormer window. Unlike the dormers at 63 and 85 N. Pine Avenue, the dormer at 71 N. Pine Avenue extends the full width of the facade, giving the building a gable-front appearance. 870 and 872 Lancaster Street both have hipped dormers. Based on aerial imagery, each house also has at least one additional dormer at one of the side elevations.

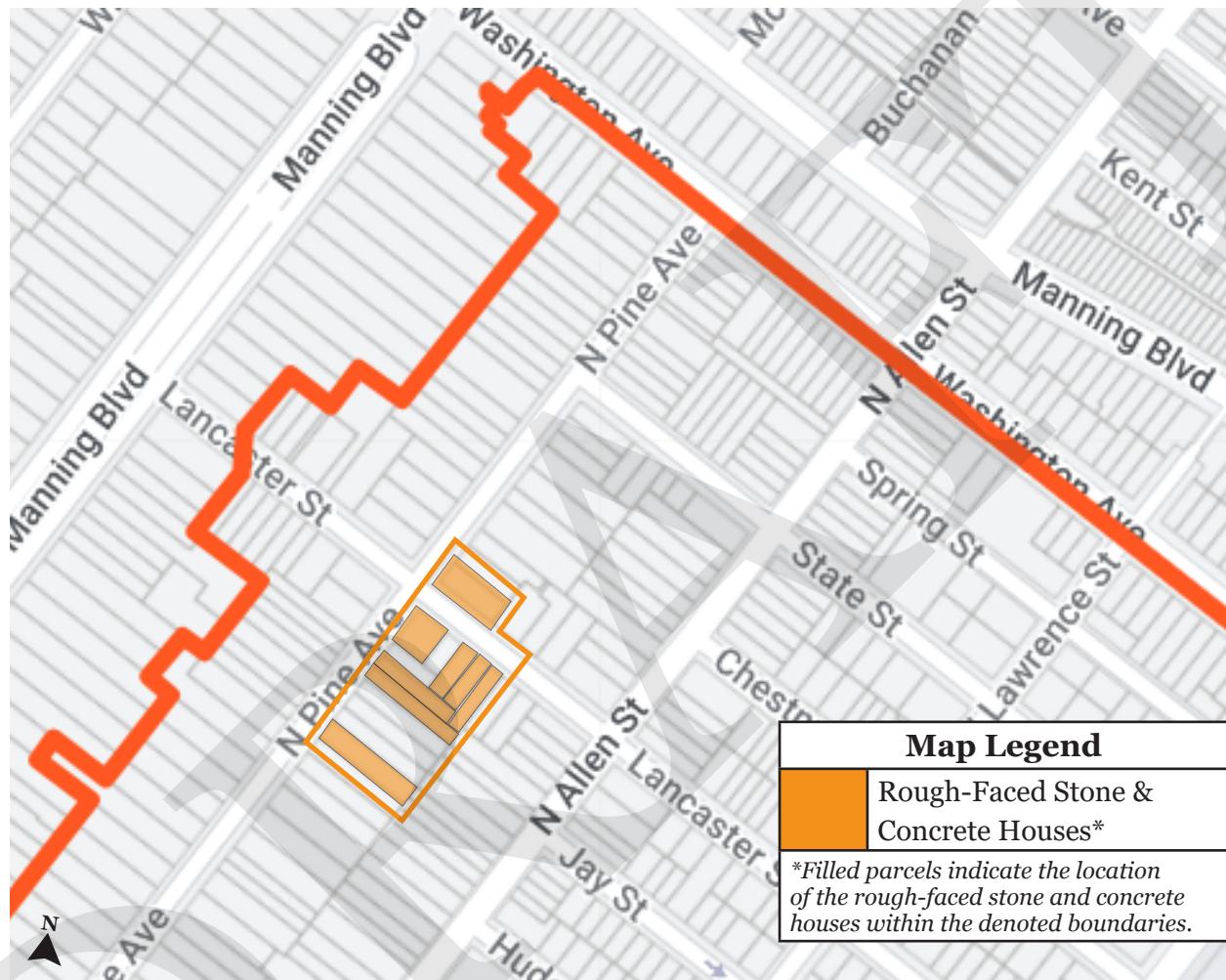


Image 12. 71 (right) and 85 (left) N. Pine Avenue, looking north. These two dwellings share similar massing, fenestration, and materials but exhibit differences in treatment at the half-story and at the porch.

Because 89 Pine Avenue is located at the corner of N. Pine Avenue and Lancaster Street, the building has two entrances. The entrance fronting N. Pine Avenue is centered within a symmetrical facade underneath a rounded portico above which in the second story is a bay window. This elevation has two gabled dormers. From N. Pine Avenue, the buildings at 89 and

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91 N. Pine share similar form and fenestration patterns. The elevation of 89 N. Pine Avenue fronting Lancaster Street is similar to the facades of the other subject houses on Lancaster Street. Unlike the other houses on Lancaster Street and N. Pine Avenue, 89 N. Pine Avenue has a two-story porch at the south elevation. This feature is present in the 1909 Sanborn map. The other houses were constructed with a 1-story wood frame porch at the rear; it is unknown if these are still extant.



Boundary map depicting the area containing a concentration of rough-faced stone and concrete houses.

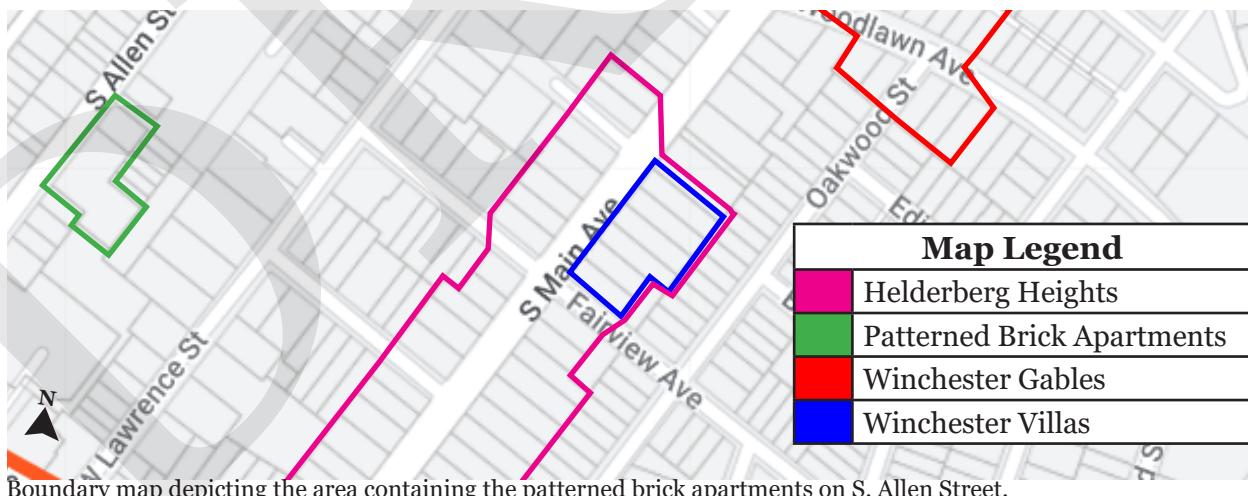
Patterned Brick Apartments on S. Allen Street

Potential Significance: These three buildings can be considered significant at the local level under Criterion C in the area of Architecture. Of the many brick apartment buildings on S. Allen Street, these three apartment buildings are notable within the Pine Hills neighborhood as the only ones that are ornamented using patterned brickwork. The potential period of significance, beginning in 1935 and ending in 1952, is informed by the construction date range of the buildings themselves. The proposed boundary encompasses the three patterned brick apartments. These apartment buildings are recommended for intensive-level survey as a

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representative example of a 1920s/1930s residential building typology within the Pine Hills neighborhood; this typology is recommended for future study in a separate subsection of this report. An intensive-level survey of this cluster of buildings can act as a starting point for additional thematic research and evaluation. Recommended additional thematic research on apartment buildings within the survey area, discussed in detail in a separate subsection, could reveal significance as part of an expanded historic context for the neighborhood, which would fall under Criterion A. However, the findings of future research and survey may not reveal enough continuity under Criterion A and thereby find that the significance argument for this cluster of apartment buildings is only suitable under Criterion C for Architecture.

Description: Based on Sanborn maps and historic aerials, the subject buildings at 265, 271, and 275 S. Allen Street were constructed between 1935 and 1952; however, listings in Albany City directories indicate that the buildings were constructed by 1937.¹ The subject buildings are all two stories over a basement and each possesses a symmetrical, three-bay facade. The buildings' foundations are constructed of painted concrete cinderblock and are punctuated by paired and single windows. The entrance at each facade is covered by a gabled portico supported by doric columns. The door surround consists of a multi-light door flanked by multi-light sidelights and an arched transom above. The outer bays in the first and second stories contain tripartite replacement windows and the center bay in the second story contains a narrow replacement window. The patterns are created through the use of yellow brick for the background and brown bricks to create the designs. The brickwork pattern at 265 S. Allen Street is different than those of 271 and 275 S. Allen Street, which match each other. In addition, all three elevations of 265 S. Allen Street that are visible from the public right-of-way feature patterned brickwork, while only the facade and south elevation of No. 271 and facade of 275 S. Allen Street are decorated with patterned brickwork. Based on the differences between 265 S. Allen Street and 271 and 275 S. Allen Street, it is possible the buildings were constructed at different times or by different builders. Garages are located toward the rear or at the rear of each apartment building.



Boundary map depicting the area containing the patterned brick apartments on S. Allen Street.

¹ Albany and Rensselaer, N.Y. Directory, for the Year Ending August, 1938 (Boston: Sampson & Murdock Company, Inc., 1937), 316, 337, and 405.

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The College of Saint Rose Campus

Potential Significance: The College of Saint Rose campus may be significant at the local level under Criterion A in the area of Community Planning and Development. Further survey should consider additional Criterion A evaluation under Education as a secondary theme. The growth of the College of Saint Rose from its founding in 1920 throughout the 20th century had a notable impact on the Pine Hills neighborhood, both physically and visually. The built environment changed as new buildings were erected, older wood-frame buildings torn down and replaced with more modern facilities, and parking lots constructed. As a result, the campus lacks a uniform appearance, consisting of a collection of former dwellings converted for residence halls or office use, masonry buildings constructed by the College during the early, mid-, and late 20th century, and large parking lots which resulted in the demolition of existing academic buildings.

Due to the lack of architectural cohesion, some buildings have no evident connection to the College based on physical appearance alone aside from a small plaque denoting the building's use. The varied architectural characteristics of the campus in addition to changes made over time made it difficult to define boundaries for a potential district and assign a contributing/non-contributing status to each building. The proposed boundaries were based on historic Sanborn and College of Saint Rose campus maps as well as visual survey which identified additional associated buildings based on the aforementioned plaques. A potential period of significance may consider the following dates as significant: 1920, when the College was established; 1923-24, when the first building was constructed by the College; and 1969 when the College became co-ed. The campus merits additional survey efforts to further define the period of



Image 13. 983 Madison Avenue, looking southeast. This building, known as Saint Joseph Hall, was one of the first buildings the College of Saint Rose constructed.

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significance, taking into account the College's original founding as a women's Catholic college and the substantial growth after the school became co-ed in 1969; the determined period of significance may impact the potential district's boundaries. Future survey should evaluate the integrity of the campus, remaining conscious of the College's need to evolve in response to the growth of the student body and to meet the needs of students during the approximately 100 years of operation. It is recommended that prior to the commencement of intensive-level survey, the survey team consult with members of the Historic Preservation Division of the New York State Office of Parks, Recreation and Historic Preservation about property-specific data and survey methodology and integration.

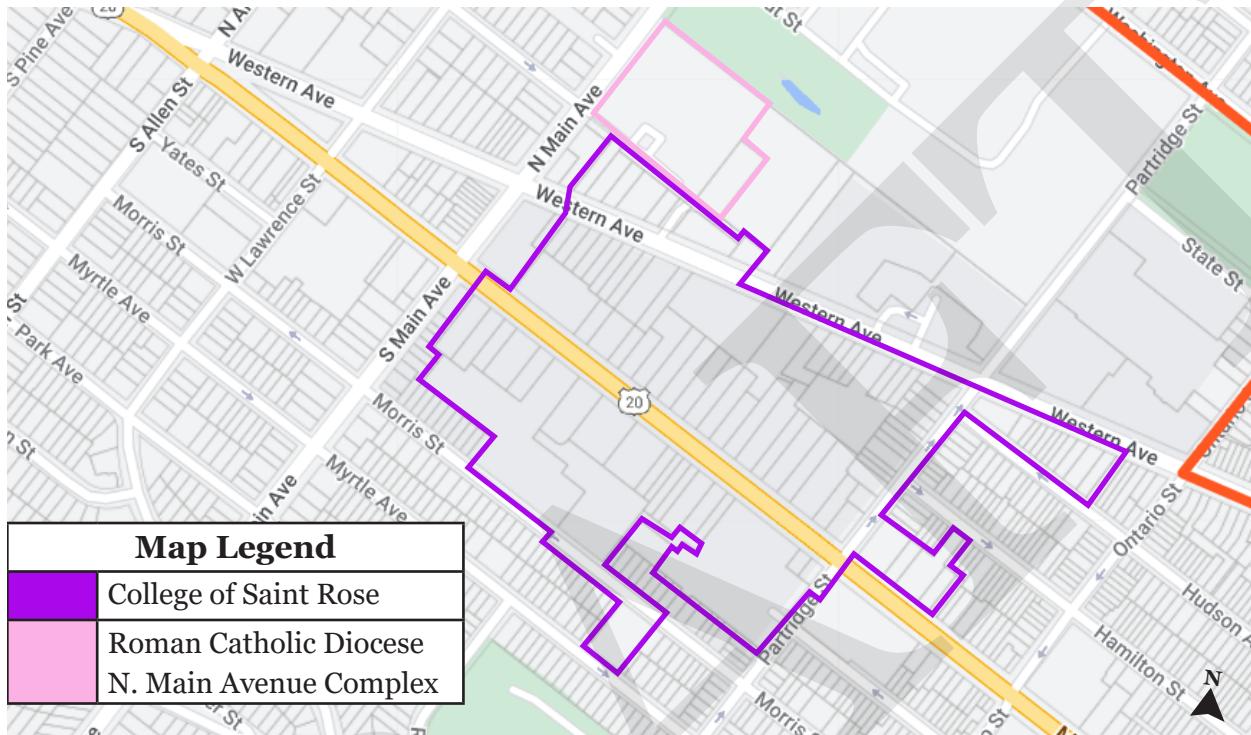
Description: The College of Saint Rose area is generally bounded by the south side of Western Avenue to the north, the west side of Partridge Street to the east, the rear of property lots along the south side of Madison Avenue to the south, and the east side of S. Main Avenue to the west. Within these boundaries are 79 buildings that have known associations with the College. Additional research and survey efforts may likely discover more buildings which were once used by the College both within the aforementioned boundaries and through an examination of buildings adjacent to each boundary.

Most of the buildings constructed by the College since its establishment in 1920 are of brick construction, many with limestone detailing to complement the materials of the first building constructed by the College in 1923-24, Saint Joseph Hall. Albertus Magnus Hall, known as the Science Hall, is the most similar in detailing to Saint Joseph Hall, likely because its construction was completed only a decade after Saint Joseph Hall. Both have limestone-clad facades at the first story, a limestone band between the first and upper stories at the side elevations, brick jack arches above windows with a limestone keystone, a limestone cornice and entablature, and a brick and limestone parapet above. The extension to the Science Hall, constructed in the 1990s, is also of brick construction with limestone detailing, but is distinct from the original section of the building. The Neil Hellman Library, constructed in 1950, has a one-story entrance block clad with limestone and the three-story main building is brick with minimal limestone details in the window trim and parapet coping. Lima Hall, constructed in 1958, has similar detailing. The use of brick is also found in the construction of Hubbard Hall (1971), Alumni Hall (1978), and the Events and Activities Center (1978)—the use of limestone at Hubbard Hall is minimal while Alumni Hall appears to have no limestone detailing. Riley, Carondelet, and Cavanaugh Halls, three interconnected buildings are an exception, designed to match the frame dormitories located on the campus.

A majority of the other buildings housing faculty offices and in use as dormitories are of frame construction, though some are brick but are similar in design to the frame buildings. These buildings are typically two-and-one-half stories with three predominant roof forms: gable-front; side-gable with a gable-front projection at the facade; and a hipped roof. Foundations are constructed of brick or pressed concrete block. Bay windows are common in both the first and second stories. Full-width entry porches are typical, many of which have a projecting pediment over the entry steps. The gable-front buildings, like other gable-front dwellings in

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the Pine Hills neighborhood, have two staggered projecting gables in the second story—one in each bay—a shallow gable over the bay window and a gabled roof over a small open or enclosed porch in the other bay. Typical examples of this type can be found at 354 and 358 Western Avenue (open porch) and 350 Western Avenue (enclosed porch).



Boundary map depicting the College of Saint Rose potential district. The district boundary is a guide and starting point for future intensive-level survey. Additional survey should evaluate the boundaries proposed in this survey and confirm the contributing or non-contributing status of each property within the defined area.

Brick Rowhouses on Hudson Avenue

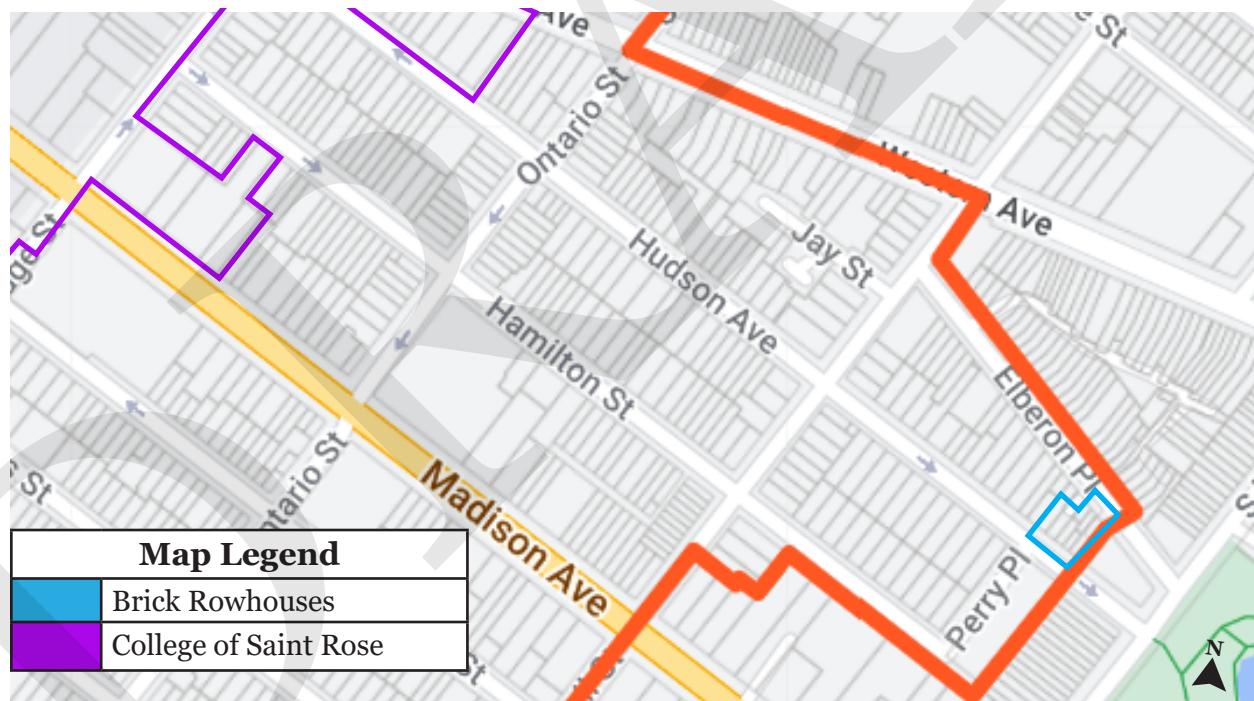
Potential Significance: The brick rowhouses on Hudson Avenue can be considered significant at the local level under Criterion C in the area of Architecture. Although brick is a building material found throughout the Pine Hills neighborhood, these buildings are notable as one of the few groupings of rowhouses in the neighborhood and are some of the earliest-constructed buildings in Pine Hills. The proposed boundary encompasses the buildings of this type on Hudson Avenue with a potential period of significance based on the period of construction of the buildings, beginning in 1880 and concluding in 1892. Future survey should evaluate these rowhouses—in addition to the brownstone and brick rowhouses on Quail Street—as they may share a connection with the rowhouses in adjacent locally-designated historic districts with high concentrations of rowhouses, including South Lake Avenue, Washington Park, and Elberon Triangle. This potential connection may contribute to a Criterion A significance argument or an expanded Criterion C statement of significance under the theme of Architecture.

Description: This area consists of a group of four brick rowhouses located on the north side of Hudson Avenue between Perry Place and Lake Avenue. These buildings were constructed in the

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1880s and are the only brick buildings on the north side of Hudson Avenue, which is populated by frame dwellings all constructed between 1892 and 1935. Sanborn maps indicate a fifth, slightly larger two-story brick building, 391 Hudson Avenue, first marked as a dwelling in 1892 and a building for automobiles in 1909 and 1935. This building is no longer extant.

The subject buildings are all two stories over a basement and constructed of red brick laid in a running bond. Each building shares the same fenestration patterns, simple sills and lintels at openings, and decorative detailing at the cornice and parapet. The cornice, which spans across the width of each building, is decorated with brick corbeling and brick dentils. The triangular parapet is located above the two eastern bays and features an inset stone panel with a flower. The buildings have three-bay facades comprised of a two-story entry block to the west which is slightly set back from the wall plane of the facade; this westernmost bay contains an elevated, recessed entrance in the first story and a window in the second story. The entrance is accessed by a stair; two of the buildings have a concrete stair while two have a wood stair. The first-story wood door surrounds consist of a transom above the door and paneled wood on the walls of the recessed entrance. The center and easternmost bays contain a window in each story. Below the first-story windows at grade are two, smaller windows; to the west, underneath the stair leading to the first-story entrance are a set of steps running east-west leading down to the below-grade rooms of the building.



Boundary map depicting the area containing the brick rowhouses on Hudson Avenue.

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Roman Catholic Diocese N. Main Avenue Complex

Potential Significance: The Roman Catholic Diocese N. Main Avenue Complex may be significant at the local level under Criterion A in the area of Religion. The buildings within this complex, historically known as the Frances Elliott Austin Infant Home and the Anthony N. Brady Maternity Hospital, were once both operated by a group of Roman Catholic nuns known as the Sisters of Charity. Therefore, a Criterion A argument under the theme of Religion should focus on religiously-founded philanthropic institutions and the role of religious charities in civil and civic life in the Pine Hills neighborhood and within Albany. The proposed boundaries include the three subject buildings with a potential period of significance of 1913-1966, which encompasses the main dates of operation for the original use of the buildings within complex. Future survey should evaluate these buildings within the context of other Catholic and religious-owned or charitable institutions that were once located within the survey area. Evaluation of this complex of buildings can also connect to further study of additional religious and secular institutions in Pine Hills and how their presence may have influenced the development of the neighborhood.

Description: The Roman Catholic Diocese N. Main Avenue Complex includes three buildings located on N. Main Avenue to the immediate south of St. Mary's Park; the building at 30 N. Main Avenue was constructed as an auxiliary building to service the former infant home and hospital at 46 and 40 N. Main Avenue, respectively.



Image 14. N. Main Avenue, looking east. This building is the St. Catherine's Center for Children, historically the Frances Elliott Austin Infant Home.



Image 15. N. Main Avenue, looking north at the west elevation of 40 N. Main Avenue. This building is the Pastoral Center, historically the Anthony N. Brady Maternity Hospital.

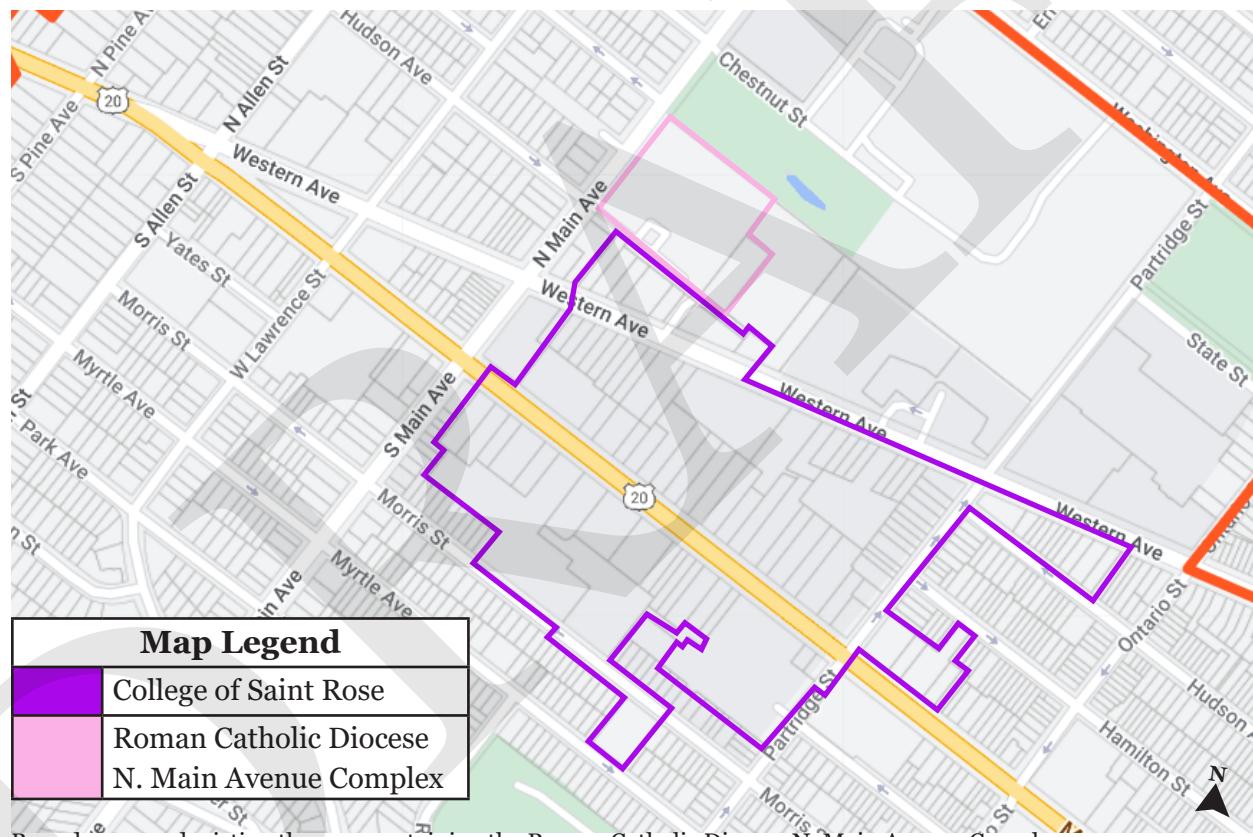


Image 16. N. Main Avenue, looking southeast. This building is the Pastoral Center, historically the Anthony N. Brady Maternity Hospital.

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Because they were designed by the same architects, the buildings at 40 and 46 N. Main Avenue are similar in their design and use of materials. Based on historic aerial imagery, the building at 30 N. Main Avenue was expanded sometime between 1985 and 1994; the westernmost section of the building, which is partially visible from the public right-of-way, dates to 1913. The building at 30 N. Avenue is two stories and also of fireproof construction with a brick exterior that has minimal detailing.

40 N. Main Avenue is situated on a north-south axis while 46 N. Main Avenue is situated on an east-west axis. Each building consists of a rectangular, three-bay block flanked by one-bay blocks that are shorter than the center volume. Both buildings at 40 and 46 N. Main Avenue are of fireproof construction and feature brick exteriors with brick and limestone detailing. In addition to the visual connection between the two buildings created by similar design and matching materials, the buildings are also connected at the east elevation through a one-story brick corridor which, historically, also extended north to 30 N. Main Avenue.



Boundary map depicting the area containing the Roman Catholic Diocese N. Main Avenue Complex.

FINDINGS AND RECOMMENDATIONS

Themes And Topics For Future Study

The following section includes a discussion of themes and topics recommended for future in-depth study. These topics were identified based on the physical fabric of the neighborhood and pockets of varying building types and architectural styles as well as the lack of consensus surrounding the boundaries of the Pine Hills neighborhood. Additional research into these themes and topics will contribute to a greater understanding of the physical evolution of the neighborhood which may, in turn, lead to the discovery of additional sub-areas and nodes worthy of future intensive-level survey.

Individuals and Organizations Involved in Developing the Survey Area

The connection between the neighborhood's buildings and the various Albany-based builders, real estate developers, and corporations who were responsible for the area's development remains largely unknown. Within the wide array of building types and styles in the survey area, the difference between architect-designed houses and developer/builder-designed dwellings is not evident. There are several known developers, architects, builders, and companies whose work is present in the survey area. These include:

- Lorenz Willig (Contractor)
- William Gick and William Sayles (Contractors)
- Charles Enseleine (Contractor)
- Franklin H. Janes (Architect)
- Arthur E. Allen (Architect)
- W.J. Obenaus (Architect)
- Ten Eyck T. Mosher (Real Estate Developer)
- Dan Winchester (Real Estate Developer)
- Albany Land Improvement and Building Company
- Albany Material and Construction Company

The extent of their connections to specific buildings or properties is yet unknown. Additional research may reveal other parties who had a hand in shaping the built environment of the survey area. Future research should focus on the identification of these individuals or firms and attempt to discover what buildings and streets each was responsible for building up. Knowledge of those who were influential in building up various sections of the neighborhood may reveal more about the specific pattern of construction within the survey area and may aid in the determination of additional areas that are candidates for intensive-level study.

Apartment Buildings

The survey area contains many clusters of apartment buildings and several stand-alone apartments, most of which were constructed in the mid-20th century. Future study should evaluate apartment buildings within the survey area either as a theme or as a building sub-type within the area. Research should attempt to uncover if there is a connection between the rate or period of development and the construction of apartments within an area. There is a high concentration of apartments on S. Allen Street between New Scotland Avenue and Cortland Street—this street presents an opportunity to examine this potential connection.

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Rowhouses

The Pine Hills neighborhood only contains two blocks of rowhouses, one group of four brick rowhouses located at 393-399 Hudson Avenue and a second grouping of ten rowhouses—four brick and six brownstone—on Quail Avenue, south of Hamilton Street. These two nodes are located approximately one block away from each other in the northeast section of the survey area. Both Quail Street and Hudson Avenue abut the Upper Madison Avenue Historic District and the Washington Park Historic District, respectively, and are situated just south of the Elberon Triangle Historic District. These historic districts all possess high concentrations of both brick and brownstone rowhouses; it is likely that the construction of the two clusters of rowhouses in the Pine Hills neighborhood in the late 19th century resulted from their proximity to these historic districts. Future research should explore if there is a connection between these buildings and the rowhouses located in the adjacent historic districts.

Subdivisions

Future research should focus on the examination of land records to determine the original boundaries of the Pine Hills neighborhood and subsequent expansion through the early 20th century. The extent of the boundaries of the planned subdivision of the Albany Land Improvement and Building Company in 1888, which was the first attempt to build up the area west of Washington Park, are unknown. Research conducted as part of this survey indicates that the original neighborhood boundaries extended further west, encompassing Marion Avenue, Manning Boulevard, and S. Manning Boulevard. Preliminary research of this area, which was outside of the focus of this reconnaissance-level survey, indicates that Manning Boulevard is likely a node of interest for future study. Future study of the original Pine Hill boundaries should also include research into the Pine Hills Park subdivision, established by Lorenz Willig and John A. Scott between 1912 and 1915. The area, roughly bounded by Washington Avenue to the north, Winthrop Avenue to the east, the rear of property lots on the north side of Western Avenue to the south, and Fairlawn Avenue to the west, originally consisted of 152 property lots, all sold in 1915; this area today is part of the Melrose neighborhood. However, the “Pine Hills Park” subdivision name merits additional research to determine if the land was once associated with the subdivision laid out by the Albany Land Improvement and Building Company.

Paigeville

Research conducted throughout the course of this survey revealed the existence of a smaller neighborhood, known as “Paigeville,” within the survey area boundaries. The neighborhood was roughly located between Western and Madison Avenues to the north and south and Quail and Partridge Streets to the east and west. Future research should examine primary and secondary sources to discover the boundaries of this neighborhood, which was occupied by members of the working class. It is unknown what historic resources remain extant. The settlement of working-class families in the northeast section of the survey area may explain the prominence of flats within that area.

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Historic Preservation Strategies & Educational Outreach Opportunities

The Pine Hills neighborhood represents an important period of growth and westward expansion in the history of the City of Albany. This reconnaissance-level survey is only the first step toward comprehensive documentation of the neighborhood's significant areas, streets, and buildings. Additional intensive-level survey efforts will continue this work and potentially result in the designation of sub-areas within the overall Pine Hills neighborhood. However, historic preservation and planning work is never conducted in a vacuum, but must take into consideration the opinions and desires of other stakeholders. To this end, the following proposed community outreach efforts are recommended to educate Pine Hills residents about preservation work that is being undertaken, or will be undertaken, in Pine Hills and how these preservation tools will impact the neighborhood.

Conduct an Information Session about Surveys as a Planning Tool

As this survey report contains recommendations for future intensive-level survey, public outreach should include an information session to educate the public about the differences between and goals of reconnaissance-level and intensive-level architectural surveys. This session should include a summary of what each type of survey entails; the intent of each survey, including the level of building- and area-specific information gathered as part of each; and the differences in the products of each survey. The public should leave any information session or presentation with an understanding of why and when each type of architectural survey is conducted and the actions that are undertaken following a reconnaissance-level survey, often intensive-level survey, and, following an intensive-level survey, typically designation.

Hold a Public Presentation about Designation

In following the recommendations of this survey, namely conducting intensive-level survey for specific areas of the Pine Hills neighborhood, it is important that community members understand the potential designations that could result of future survey efforts and the impacts that designation may have on them. Any presentation about designation should first summarize the three levels of designation (local, state, and national) and explain the differences between each. Often during the designation process, there is concern among community members about the impacts of designation; it is important that neighborhood residents understand that the effects of each level of designation are different. The public should also be provided with information about any review processes required for proposed projects within a designated historic district and for individual buildings.

Designate Local Historic Districts

In regard to historic preservation strategies, designation at the local level is one of the most effective ways to protect historically significant buildings and buildings within historic districts. Although the Pine Hills neighborhood has experienced comparatively few

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demolitions and new construction in the last two decades, the designation of smaller historic districts within the neighborhood can help to preserve the existing integrity of many of the buildings. In designating a local historic district, design guidelines should also be created to ensure the preservation of the material integrity of the buildings, which in many areas within Pine Hills remains high. The establishment of design guidelines in smaller districts within the overall neighborhood will ensure that each retains the architectural character which contributes to its significance.

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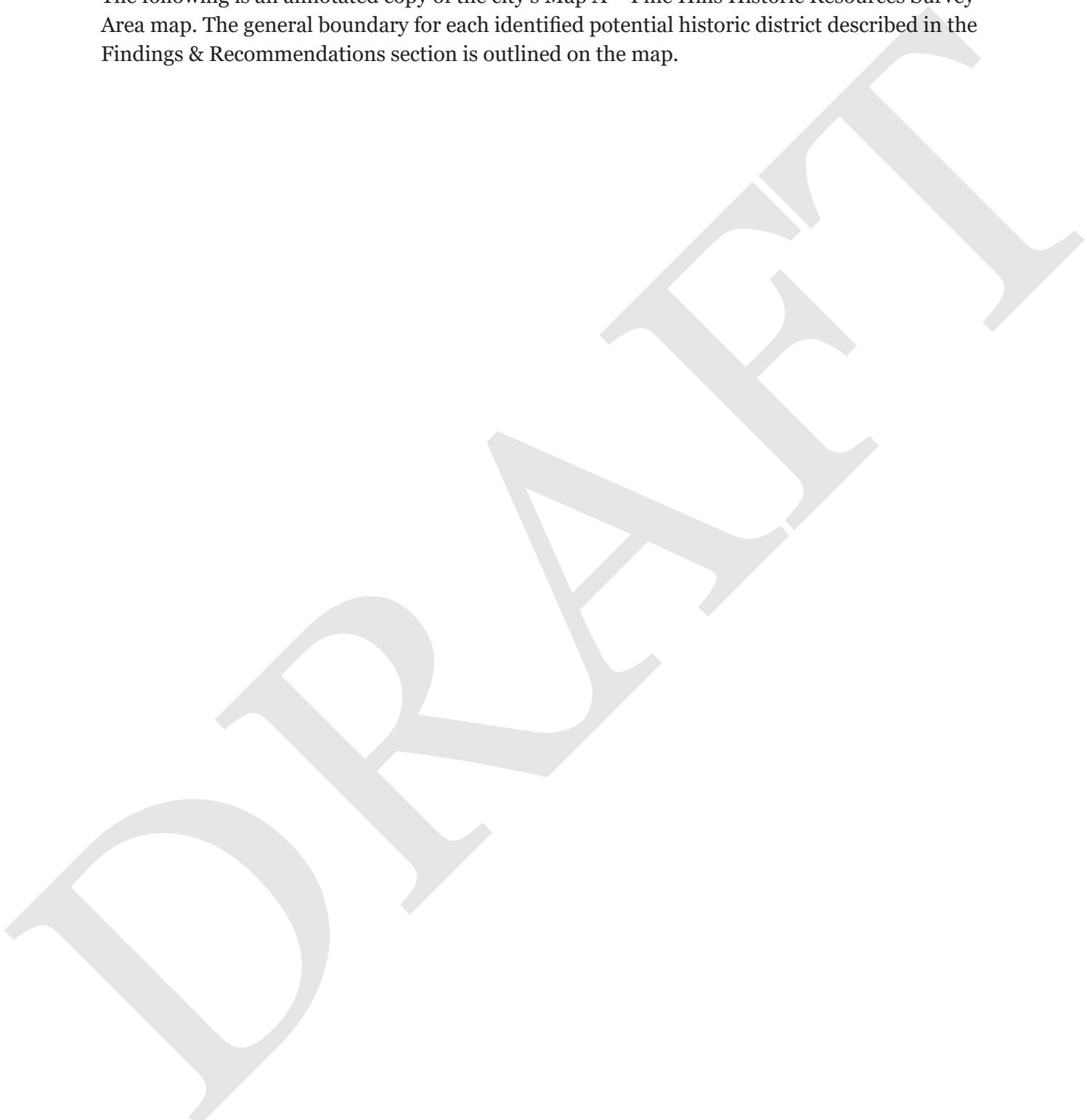
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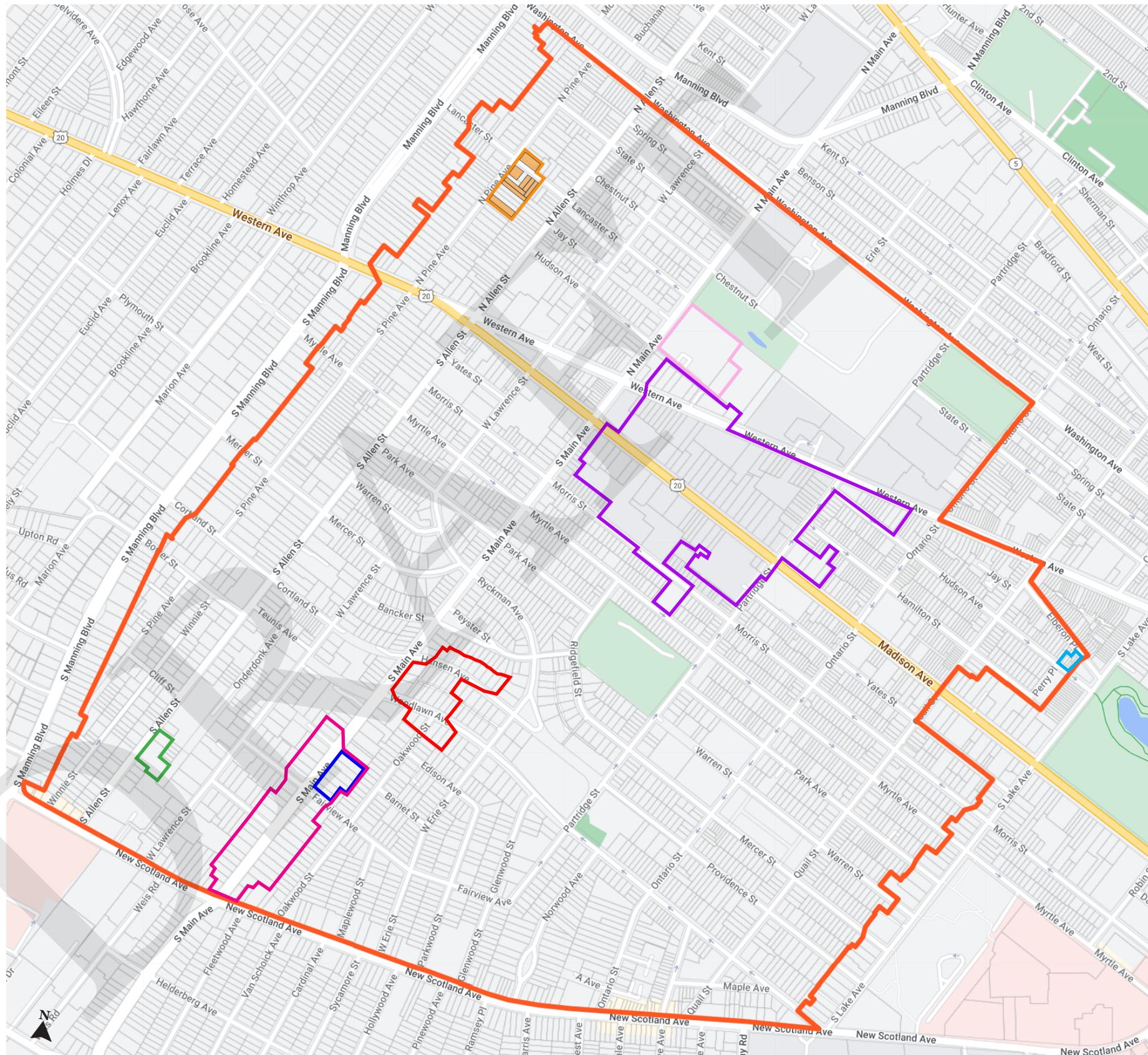
APPENDICES

Appendix A: Map

The following is an annotated copy of the city's Map A – Pine Hills Historic Resources Survey Area map. The general boundary for each identified potential historic district described in the Findings & Recommendations section is outlined on the map.



APPENDICES



Map Legend

Brick Rowhouses
College of Saint Rose
Helderberg Heights
Patterned Brick Apartments
Roman Catholic Diocese N. Main Avenue Complex
Rough-Faced Stone & Concrete Houses*
Winchester Gables
Winchester Villas

*Filled parcels indicate the location of the rough-faced stone and concrete houses within the denoted boundaries.

APPENDICES

Appendix B: Annotated Property List

The following table includes a list of all parcels located within the Pine Hills Historic Resources Survey Area, delineated in the map found in Appendix A. The parcel data—including address, street, and class description—was pulled from City of Albany Tax Parcel data. The year built data was determined based on Sanborn maps and historic aerial imagery. The table also includes a brief description of each building and their potential significance, which is further defined in the Findings & Recommendations section. Information regarding a building's historic status includes data gathered from the New York Department of Parks, Recreation and Historic Preservation's Cultural Resource Information System (CRIS). An additional column notes data discrepancies between the city's parcel data and existing data in CRIS.

APPENDICES

Pine Hills Survey Area Property List

Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
2	AMHERST AVE			One Family Year-Round Residence					
3	AMHERST AVE			One Family Year-Round Residence					
4	AMHERST AVE			One Family Year-Round Residence					
11	AVENUE A			(Commercial) Parking Lot					
35	AVENUE A			(Commercial) Parking Lot					
39	AVENUE A			Electric SubStation					
44	AVENUE A			Residential Vacant Land					
19	AVENUE B			Apartments (Commercial)					
20	AVENUE B			Apartments (Commercial)					
3	BANCER ST			One Family Year-Round Residence					
5	BANCER ST			One Family Year-Round Residence					
9	BANCER ST			One Family Year-Round Residence					
11	BANCER ST			One Family Year-Round Residence					
12	BANCER ST			One Family Year-Round Residence					
15	BANCER ST			One Family Year-Round Residence					
16	BANCER ST			One Family Year-Round Residence					
17	BANCER ST			One Family Year-Round Residence					
20	BANCER ST			One Family Year-Round Residence					
23	BANCER ST			One Family Year-Round Residence					
24	BANCER ST			One Family Year-Round Residence					
25	BANCER ST			One Family Year-Round Residence					
28	BANCER ST			One Family Year-Round Residence					
29	BANCER ST			One Family Year-Round Residence					
30	BANCER ST			One Family Year-Round Residence					
33	BANCER ST			One Family Year-Round Residence					
34	BANCER ST			One Family Year-Round Residence					
37	BANCER ST			One Family Year-Round Residence					
38	BANCER ST			One Family Year-Round Residence					
40	BANCER ST			Two Family Year-Round Residence					
7	BARNET ST			Two Family Year-Round Residence					
8	BARNET ST			One Family Year-Round Residence					
9	BARNET ST			One Family Year-Round Residence					
10	BARNET ST			One Family Year Round Residence					
11	BARNET ST			One Family Year-Round Residence					
12	BARNET ST			One Family Year-Round Residence					
4	BOWER ST			One Family Year-Round Residence					
7	BOWER ST			Two Family Year-Round Residence					
11	BOWER ST			Three Family Year-Round Residence					
15	BOWER ST			Residential Vacant Land					
21	BOWER ST			One Family Year-Round Residence					
25	BOWER ST			One Family Year-Round Residence with Accessory Apartment					
29	BOWER ST			One Family Year-Round Residence					
42	BOWER ST			One Family Year-Round Residence					
46	BOWER ST			One Family Year-Round Residence					
47	BOWER ST			One Family Year-Round Residence					
49	BOWER ST			Residential Vacant Land					
49	49 BOWER ST (REAR)			Residential Vacant Land					
1	CALDWELL ST			Two Family Year-Round Residence					
7	CALDWELL ST			One Family Year-Round Residence					
8	CALDWELL ST			One Family Year-Round Residence					
796	CHESTNUT ST			One Family Year-Round Residence					
797	CHESTNUT ST			One Family Year Round Residence					
798	CHESTNUT ST			One Family Year-Round Residence					
799	CHESTNUT ST			One Family Year-Round Residence					
800	CHESTNUT ST			Two Family Year-Round Residence					
803	CHESTNUT ST			One Family Year-Round Residence					
807	CHESTNUT ST			One Family Year-Round Residence					
810	CHESTNUT ST			One Family Year-Round Residence					
816	CHESTNUT ST			One Family Year-Round Residence					
826-828	CHESTNUT ST			Apartments (Commercial)					
830	CHESTNUT ST			One Family Year-Round Residence					
831	CHESTNUT ST			One Family Year-Round Residence					
835	CHESTNUT ST			One Family Year-Round Residence					
836	CHESTNUT ST			Residential Vacant Land					
837	CHESTNUT ST			Residential Vacant Land					
838	CHESTNUT ST			Residential Vacant Land					
839	CHESTNUT ST			Residential Vacant Land					
840	CHESTNUT ST			Residential Land Including a Small Improvement (not used for living accommodations)					
845	CHESTNUT ST			Two Family Year-Round Residence					
846	CHESTNUT ST			Residential Vacant Land					
847	CHESTNUT ST			Two Family Year-Round Residence					
848	CHESTNUT ST			Residential Land Including a Small Improvement (not used for living accommodations)					
849	CHESTNUT ST			Two Family Year-Round Residence					
852	CHESTNUT ST			One Family Year-Round Residence					
8	CLIFF ST			One Family Year-Round Residence					
10	CLIFF ST			One Family Year-Round Residence					
12	CLIFF ST			One Family Year-Round Residence					
16	CLIFF ST			One Family Year-Round Residence					
18	CLIFF ST			Two Family Year-Round Residence					
299	CORTLAND ST			Two Family Year-Round Residence					
303	CORTLAND ST			Two Family Year-Round Residence					
305	CORTLAND ST			One Family Year-Round Residence					
307	CORTLAND ST			Three Family Year-Round Residence					
326A	CORTLAND ST			One Family Year-Round Residence					
326B	CORTLAND ST			One Family Year-Round Residence					
326C	CORTLAND ST			One Family Year-Round Residence					
326D	CORTLAND ST			One Family Year-Round Residence					
326E	CORTLAND ST			One Family Year-Round Residence					
326F	CORTLAND ST			One Family Year-Round Residence					
326G	CORTLAND ST			One Family Year-Round Residence					
326H	CORTLAND ST			One Family Year-Round Residence					
326I	CORTLAND ST			One Family Year-Round Residence					
326J	CORTLAND ST			One Family Year-Round Residence					
546	CORTLAND ST			Two Family Year-Round Residence					
550	CORTLAND ST			One Family Year-Round Residence					
556	CORTLAND ST			Two Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
560	CORTLAND ST			Two Family Year-Round Residence					
564	CORTLAND ST			One Family Year-Round Residence					
568	CORTLAND ST			Residential Vacant Land					
572	CORTLAND ST			One Family Year-Round Residence					
1	EDISON AVE			Apartments (Commercial)					
2	EDISON AVE			Two Family Year-Round Residence					
3	EDISON AVE			Three Family Year-Round Residence					
4	EDISON AVE			Two Family Year-Round Residence					
5	EDISON AVE			Three Family Year-Round Residence					
6	EDISON AVE			Two Family Year-Round Residence					
7	EDISON AVE			Three Family Year-Round Residence					
8	EDISON AVE			Two Family Year-Round Residence					
9	EDISON AVE			Two Family Year-Round Residence					
11	EDISON AVE			Three Family Year-Round Residence					
13	EDISON AVE			Two Family Year-Round Residence					
15	EDISON AVE			Apartments (Commercial)					
16	EDISON AVE			Three Family Year-Round Residence					
17	EDISON AVE			One Family Year-Round Residence					
18	EDISON AVE			Apartments (Commercial)					
19	EDISON AVE			One Family Year-Round Residence					
20	EDISON AVE			Apartments (Commercial)					
21	EDISON AVE			One Family Year-Round Residence					
8	ELBERON PL			Residential Vacant Land					
12	ELBERON PL			Residential Land including a Small Improvement (not used for living accommodations)					
18	ELBERON PL			Residential Vacant Land					
36	ELBERON PL			Residential Vacant Land					
38	ELBERON PL			Two Family Year-Round Residence					
42	ELBERON PL			Residential Vacant Land					
46	ELBERON PL			Residential Vacant Land					
50	ELBERON PL			Apartments (Commercial)					
52	ELBERON PL			Two Family Year-Round Residence					
54	ELBERON PL			Two Family Year-Round Residence					
56	ELBERON PL			Two Family Year-Round Residence					
58	ELBERON PL			Two Family Year-Round Residence					
155	ERIE ST			(Commercial) Parking Lot					
157	ERIE ST			Residential Vacant Land					
33	FAIRVIEW AVE			One Family Year-Round Residence					
35	FAIRVIEW AVE			Residential Vacant Land					
37	FAIRVIEW AVE			Two Family Year-Round Residence					
39	FAIRVIEW AVE			One Family Year-Round Residence					
41	FAIRVIEW AVE			One Family Year-Round Residence					
43	FAIRVIEW AVE			One Family Year-Round Residence					
44	FAIRVIEW AVE			One Family Year-Round Residence					
46	FAIRVIEW AVE			One Family Year-Round Residence					
48	FAIRVIEW AVE			One Family Year-Round Residence					
57	FAIRVIEW AVE			One Family Year-Round Residence					
80	FAIRVIEW AVE			One Family Year-Round Residence					
100	FAIRVIEW AVE			One Family Year-Round Residence					
107	FAIRVIEW AVE			One Family Year-Round Residence					
108	FAIRVIEW AVE			One Family Year-Round Residence					
110	FAIRVIEW AVE			One Family Year-Round Residence					
111	FAIRVIEW AVE			Two Family Year-Round Residence					
112	FAIRVIEW AVE			One Family Year-Round Residence					
119	FAIRVIEW AVE			One Family Year-Round Residence					
120	FAIRVIEW AVE			One Family Year-Round Residence					
123	FAIRVIEW AVE			One Family Year-Round Residence					
125	FAIRVIEW AVE			One Family Year-Round Residence					
2	GLENWOOD ST			One Family Year-Round Residence					
4	GLENWOOD ST			One Family Year-Round Residence					
6	GLENWOOD ST			One Family Year-Round Residence					
8	GLENWOOD ST			Two Family Year-Round Residence					
10	GLENWOOD ST			Two Family Year-Round Residence					
12	GLENWOOD ST			Two Family Year-Round Residence					
14	GLENWOOD ST			Two Family Year-Round Residence					
16	GLENWOOD ST			Two Family Year-Round Residence					
16A	GLENWOOD ST			One Family Year-Round Residence					
17	GLENWOOD ST			Two Family Year-Round Residence					
18	GLENWOOD ST			One Family Year-Round Residence					
19	GLENWOOD ST			Two Family Year-Round Residence					
20	GLENWOOD ST			Two Family Year-Round Residence					
21	GLENWOOD ST			Two Family Year-Round Residence					
22	GLENWOOD ST			One Family Year-Round Residence					
23	GLENWOOD ST			Two Family Year-Round Residence					
24	GLENWOOD ST			One Family Year-Round Residence					
25	GLENWOOD ST			One Family Year-Round Residence					
26	GLENWOOD ST			One Family Year-Round Residence					
27	GLENWOOD ST			Three Family Year-Round Residence					
29	GLENWOOD ST			Two Family Year-Round Residence					
31	GLENWOOD ST			Two Family Year-Round Residence					
34	GLENWOOD ST			Apartments (Commercial)					
35	GLENWOOD ST			One Family Year-Round Residence					
37	GLENWOOD ST			One Family Year-Round Residence					
38	GLENWOOD ST			Apartments (Commercial)					
39	GLENWOOD ST			One Family Year-Round Residence					
41	GLENWOOD ST			One Family Year-Round Residence					
43	GLENWOOD ST			Apartments (Commercial)					
47	GLENWOOD ST			Apartments (Commercial)					
49	GLENWOOD ST			One Family Year-Round Residence					
50	GLENWOOD ST			One Family Year-Round Residence					
51	GLENWOOD ST			One Family Year-Round Residence					
53	GLENWOOD ST			One Family Year-Round Residence					
54	GLENWOOD ST			One Family Year-Round Residence					
55	GLENWOOD ST	Not Eligible		One Family Year-Round Residence					
58	GLENWOOD ST			One Family Year-Round Residence					
62	GLENWOOD ST			One Family Year-Round Residence					
9	GROVE AVE			One Family Year-Round Residence					
11	GROVE AVE			Three Family Year-Round Residence					
14	GROVE AVE			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
15	GROVE AVE			One Family Year-Round Residence					
17	GROVE AVE	Not Eligible		One Family Year-Round Residence					
19	GROVE AVE			One Family Year-Round Residence					
21	GROVE AVE			Residential Vacant Land					
23	GROVE AVE			One Family Year-Round Residence					
25	GROVE AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
27	GROVE AVE			Apartments (Commercial)					
29	GROVE AVE			Apartments (Commercial)					
33	GROVE AVE			One Family Year-Round Residence					
35	GROVE AVE			One Family Year-Round Residence					
37	GROVE AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
39	GROVE AVE			Two Family Year-Round Residence					
43	GROVE AVE			Two Family Year-Round Residence					
421	HAMILTON ST			Three Family Year-Round Residence					
423	HAMILTON ST			Two Family Year-Round Residence					
425	HAMILTON ST			Two Family Year-Round Residence					
427	HAMILTON ST			Two Family Year-Round Residence					
429	HAMILTON ST			Two Family Year-Round Residence					
431	HAMILTON ST			Two Family Year-Round Residence					
433	HAMILTON ST			Two Family Year-Round Residence					
435	HAMILTON ST			Two Family Year-Round Residence					
437	HAMILTON ST			Two Family Year-Round Residence					
439	HAMILTON ST			Two Family Year-Round Residence					
441	HAMILTON ST			Two Family Year-Round Residence					
443-445	HAMILTON ST			Three Family Year-Round Residence					
447-449	HAMILTON ST			Two Family Year-Round Residence					
448	HAMILTON ST			One Family Year-Round Residence					
448	HAMILTON ST (REAR)			Residential Land Including a Small Improvement (not used for living accommodations)					
450	HAMILTON ST			Two Family Year-Round Residence					
451	HAMILTON ST			One Family Year-Round Residence					
452	HAMILTON ST			One Family Year-Round Residence					
453	HAMILTON ST			Two Family Year-Round Residence					
455	HAMILTON ST			One Family Year-Round Residence					
456	HAMILTON ST			Two Family Year-Round Residence					
457	HAMILTON ST			One Family Year-Round Residence					
458-460	HAMILTON ST			Three Family Year-Round Residence					
459	HAMILTON ST			One Family Year-Round Residence					
461	HAMILTON ST			Two Family Year-Round Residence					
462	HAMILTON ST			One Family Year-Round Residence					
464-466	HAMILTON ST			Two Family Year-Round Residence					
465	HAMILTON ST			Two Family Year-Round Residence					
469	HAMILTON ST			Apartments (Commercial)					
470	HAMILTON ST			Two Family Year-Round Residence					
473	HAMILTON ST			Two Family Year-Round Residence					
474	HAMILTON ST			Two Family Year-Round Residence					
475	HAMILTON ST			Two Family Year-Round Residence					
476	HAMILTON ST			One Family Year-Round Residence					
479	HAMILTON ST			Two Family Year-Round Residence					
480	HAMILTON ST			Two Family Year-Round Residence					
483	HAMILTON ST			Two Family Year-Round Residence					
484	HAMILTON ST			Two Family Year-Round Residence					
485	HAMILTON ST			Two Family Year-Round Residence					
487	HAMILTON ST			Two Family Year-Round Residence					
488-490	HAMILTON ST			Two Family Year-Round Residence					
489	HAMILTON ST			Two Family Year-Round Residence					
491	HAMILTON ST			Two Family Year-Round Residence					
493	HAMILTON ST			Two Family Year-Round Residence					
495	HAMILTON ST			Two Family Year-Round Residence					
497	HAMILTON ST			Two Family Year-Round Residence					
500	HAMILTON ST			Residential Land Including a Small Improvement (not used for living accommodations)					
501	HAMILTON ST			Two Family Year-Round Residence					
502	HAMILTON ST			One Family Year-Round Residence					
503	HAMILTON ST			Three Family Year-Round Residence					
504	HAMILTON ST			Two Family Year-Round Residence					
506	HAMILTON ST			Residential Vacant Land					
508	HAMILTON ST			Two Family Year-Round Residence					
509	HAMILTON ST			Three Family Year-Round Residence					
510	HAMILTON ST			Three Family Year-Round Residence					
511	HAMILTON ST			Two Family Year-Round Residence					
513	HAMILTON ST			One Family Year-Round Residence					
514	HAMILTON ST			Two Family Year-Round Residence					
515	HAMILTON ST			Two Family Year-Round Residence					
516	HAMILTON ST			Two Family Year-Round Residence					
517	HAMILTON ST			Two Family Year-Round Residence					
520	HAMILTON ST			Apartments (Commercial)					
521	HAMILTON ST			Two Family Year-Round Residence					
522	HAMILTON ST			One Family Year-Round Residence					
523	HAMILTON ST			One Family Year-Round Residence					
524	HAMILTON ST			Two Family Year-Round Residence					
526	HAMILTON ST			Two Family Year-Round Residence					
527	HAMILTON ST			One Family Year-Round Residence					
529	HAMILTON ST			Two Family Year-Round Residence					
531	HAMILTON ST			Three Family Year-Round Residence					
533	HAMILTON ST			Two Family Year-Round Residence					
534	HAMILTON ST			Two Family Year-Round Residence					
535	HAMILTON ST			Two Family Year-Round Residence					
536	HAMILTON ST			Two Family Year-Round Residence					
538	HAMILTON ST			Three Family Year-Round Residence					
539	HAMILTON ST			Two Family Year-Round Residence					
540	HAMILTON ST			One Family Year-Round Residence					
543	HAMILTON ST			One Family Year-Round Residence					
545	HAMILTON ST			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List							
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description
213	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
217	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
220	HANSEN AVE			One Family Year-Round Residence			
221	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed entrance block with arched openings and shed roof, and an attached garage. The gable and shed roof are clad with asphalt shingles and the building is clad with stucco.
224	HANSEN AVE			One Family Year-Round Residence			
225	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a square tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
229	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed porch with arched openings and side-gabled roof, and an attached garage. The roof is clad with Spanish tiles and the building is clad with stucco.
232	HANSEN AVE			One Family Year-Round Residence			
233	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
236	HANSEN AVE			One Family Year-Round Residence			
237	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a square tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
240	HANSEN AVE			One Family Year-Round Residence			
241	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a square tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
244	HANSEN AVE			One Family Year-Round Residence			
245	HANSEN AVE			One Family Year-Round Residence			
252	HANSEN AVE			One Family Year-Round Residence			
256	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a side-gabled roof over the entrance, and an attached garage. The roof is clad with Spanish tiles and the building is clad with stucco.
260	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed entrance block with a shed roof, and an attached garage. The gable and shed roof are clad with Spanish tiles and the building is clad with stucco.
264	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower with crenellations, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
265	HANSEN AVE			Residential Vacant Land			
268	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed porch with arched openings and side-gabled roof, and an attached garage. The roof is clad with Spanish tiles and the building is clad with stucco.
269	HANSEN AVE			Two Family Year-Round Residence			
272	HANSEN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.
273	HANSEN AVE			Two Family Year-Round Residence			
275	HANSEN AVE			Residential Vacant Land			
279	HANSEN AVE			Residential Vacant Land			
283	HANSEN AVE			Residential Vacant Land			
316	HANSEN AVE			Residential Vacant Land			
318	HANSEN AVE			Residential Vacant Land			
1	HARVARD AVE			One Family Year-Round Residence			
2	HARVARD AVE			One Family Year-Round Residence			
3	HARVARD AVE			One Family Year-Round Residence			
4	HARVARD AVE			One Family Year-Round Residence			
6	HARVARD AVE			One Family Year-Round Residence			
7	HARVARD AVE			One Family Year-Round Residence			
8	HARVARD AVE			One Family Year-Round Residence			
9	HARVARD AVE			One Family Year-Round Residence			
11	HARVARD AVE			One Family Year-Round Residence			
12	HARVARD AVE			One Family Year-Round Residence			
15	HARVARD AVE			One Family Year-Round Residence			
393	HUDSON AVE			Three Family Year-Round Residence	C	ca. 1880s	Two-story over basement, three-bay brick rowhouse with brick corbeling at the cornice and a triangular parapet. The parapet is decorated with an inset stone panel with a flower.
395	HUDSON AVE			Three Family Year-Round Residence	C	ca. 1880s	Two-story over basement, three-bay brick rowhouse with brick corbeling at the cornice and a triangular parapet. The parapet is decorated with an inset stone panel with a flower.
397	HUDSON AVE			Three Family Year-Round Residence	C	ca. 1880s	Two-story over basement, three-bay brick rowhouse with brick corbeling at the cornice and a triangular parapet. The parapet is decorated with an inset stone panel with a flower.

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
399	HUDSON AVE			Three Family Year-Round Residence	C	ca. 1880s	Two-story over basement, three-bay brick rowhouse with brick corbeling at the cornice and a triangular parapet. The parapet is decorated with an inset stone panel with a flower.	Brick Rowhouses Potential Historic District	
400	HUDSON AVE			Apartments (Commercial)					
403	HUDSON AVE			One Family Year-Round Residence					
405	HUDSON AVE			Two Family Year-Round Residence					
407	HUDSON AVE			Three Family Year-Round Residence					
409	HUDSON AVE			One Family Year-Round Residence					
410	HUDSON AVE			Two Family Year-Round Residence					
411	HUDSON AVE			One Family Year-Round Residence					
414	HUDSON AVE			Two Family Year-Round Residence					
415	HUDSON AVE			Two Family Year-Round Residence					
416-418	HUDSON AVE			Three Family Year-Round Residence					
417	HUDSON AVE			One Family Year-Round Residence					
419	HUDSON AVE			Three Family Year-Round Residence					
420-422	HUDSON AVE			Two Family Year-Round Residence					
421	HUDSON AVE			One Family Year-Round Residence					
423	HUDSON AVE			Two Family Year-Round Residence					
424-426	HUDSON AVE			Two Family Year-Round Residence					
425	HUDSON AVE			Two Family Year-Round Residence					
427	HUDSON AVE	Not Eligible		One Family Year-Round Residence					
428-430	HUDSON AVE	Not Eligible		Apartments (Commercial)					
431	HUDSON AVE			One Family Year-Round Residence					
432	HUDSON AVE			One Family Year-Round Residence					
434-436	HUDSON AVE			Apartments (Commercial)					
435	HUDSON AVE			One Family Year-Round Residence					
438-440	HUDSON AVE			Two Family Year-Round Residence					
439	HUDSON AVE			Two Family Year-Round Residence					
441	HUDSON AVE			Three Family Year-Round Residence					
442	HUDSON AVE			Two Family Year-Round Residence					
444	HUDSON AVE			Two Family Year-Round Residence					
446	HUDSON AVE			Residential Vacant Land					
450	HUDSON AVE			One Family Year-Round Residence					
452	HUDSON AVE			One Family Year-Round Residence					
452A	HUDSON AVE			One Family Year-Round Residence					
454	HUDSON AVE			One Family Year-Round Residence					
455	HUDSON AVE			Two Family Year-Round Residence					
456	HUDSON AVE			Two Family Year-Round Residence					
457	HUDSON AVE			Two Family Year-Round Residence					
458	HUDSON AVE			Two Family Year-Round Residence					
459	HUDSON AVE			Two Family Year-Round Residence					
463	HUDSON AVE			Two Family Year-Round Residence					
464	HUDSON AVE			Two Family Year-Round Residence					
465	HUDSON AVE			Two Family Year-Round Residence					
466-468	HUDSON AVE			Two Family Year-Round Residence					
467	HUDSON AVE			Two Family Year-Round Residence					
469	HUDSON AVE			Two Family Year-Round Residence					
470	HUDSON AVE			Two Family Year-Round Residence					
471	HUDSON AVE			Two Family Year-Round Residence					
472	HUDSON AVE			Three Family Year-Round Residence					
473	HUDSON AVE			Two Family Year-Round Residence					
473.5	HUDSON AVE			Residential Vacant Land					
475	HUDSON AVE			Apartments (Commercial)					
476	HUDSON AVE			Apartments (Commercial)					
477	HUDSON AVE			Two Family Year-Round Residence					
479	HUDSON AVE			Two Family Year-Round Residence					
480	HUDSON AVE			Two Family Year-Round Residence					
481	HUDSON AVE			Two Family Year-Round Residence					
482-484	HUDSON AVE			Two Family Year-Round Residence					
483	HUDSON AVE			Two Family Year-Round Residence					
485	HUDSON AVE			Two Family Year-Round Residence					
486	HUDSON AVE			Two Family Year-Round Residence					
487	HUDSON AVE			Two Family Year-Round Residence					
489	HUDSON AVE			Two Family Year-Round Residence					
490	HUDSON AVE			Two Family Year-Round Residence					
492	HUDSON AVE			Two Family Year-Round Residence					
496	HUDSON AVE			Two Family Year-Round Residence					
498	HUDSON AVE			Residential Vacant Land					
500	HUDSON AVE			Two Family Year-Round Residence					
502	HUDSON AVE			Two Family Year-Round Residence					
503	HUDSON AVE			Three Family Year-Round Residence					
504	HUDSON AVE			(Commercial) Downtown Row Type (Detached)					
505	HUDSON AVE			Two Family Year-Round Residence					
518	HUDSON AVE			Apartments (Commercial)					
522	HUDSON AVE			Two Family Year-Round Residence					
524	HUDSON AVE			One Family Year-Round Residence					
526	HUDSON AVE			Residential Vacant Land					
528	HUDSON AVE			Two Family Year-Round Residence					
530	HUDSON AVE			Two Family Year-Round Residence					
534	HUDSON AVE			One Family Year-Round Residence					
536	HUDSON AVE	Not Eligible		One Family Year-Round Residence					
538	HUDSON AVE			Two Family Year-Round Residence					
542	HUDSON AVE			Two Family Year-Round Residence					
544	HUDSON AVE			Two Family Year-Round Residence					
550	HUDSON AVE			Two Family Year-Round Residence					
552	HUDSON AVE			Two Family Year-Round Residence					
554	HUDSON AVE			Two Family Year-Round Residence					
597	HUDSON AVE			Two Family Year-Round Residence					
599	HUDSON AVE			Two Family Year-Round Residence					
601	HUDSON AVE			Two Family Year-Round Residence					
654	HUDSON AVE			Residential Vacant Land					
655-657	HUDSON AVE			Apartments (Commercial)					
656	HUDSON AVE			One Family Year-Round Residence					
659	HUDSON AVE			One Family Year-Round Residence					
662	HUDSON AVE			Residential Vacant Land					
663	HUDSON AVE			Two Family Year-Round Residence					
664	HUDSON AVE			One Family Year-Round Residence					
665	HUDSON AVE			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
668	HUDSON AVE			One Family Year-Round Residence					
673	HUDSON AVE			Two Family Year-Round Residence					
675	HUDSON AVE			Two Family Year-Round Residence					
677	HUDSON AVE			One Family Year-Round Residence					
681	HUDSON AVE	Undetermined		One Family Year-Round Residence					
687	HUDSON AVE			One Family Year-Round Residence					
690	HUDSON AVE			Apartments (Commercial)					
693	HUDSON AVE			One Family Year-Round Residence					
695	HUDSON AVE			One Family Year-Round Residence					
696	HUDSON AVE			One Family Year-Round Residence					
697	HUDSON AVE			One Family Year-Round Residence					
703	HUDSON AVE			One Family Year-Round Residence					
705	HUDSON AVE			One Family Year-Round Residence					
455	JAY ST			(Commercial) Parking Lot					
459	JAY ST			Two Family Year-Round Residence					
467	JAY ST			Auto Body, Tire Shops, Other Related Auto Sales					
471	JAY ST			Residential Vacant Land					
795	JAY ST			Residential Vacant Land					
799	JAY ST			Residential Vacant Land					
826	JAY ST			One Family Year-Round Residence					
828	JAY ST			One Family Year-Round Residence					
829	JAY ST			One Family Year-Round Residence					
830	JAY ST			Two Family Year-Round Residence					
831	JAY ST			One Family Year-Round Residence					
832	JAY ST			Two Family Year-Round Residence					
834	JAY ST			One Family Year-Round Residence					
835	JAY ST			One Family Year-Round Residence					
836	JAY ST			One Family Year-Round Residence					
839	JAY ST			One Family Year-Round Residence					
840	JAY ST			One Family Year-Round Residence					
842	JAY ST			One Family Year-Round Residence					
844	JAY ST			Two Family Year-Round Residence					
845	JAY ST			Two Family Year-Round Residence					
847	JAY ST			Two Family Year-Round Residence					
848	JAY ST			One Family Year-Round Residence					
849	JAY ST			Three Family Year-Round Residence					
852	JAY ST			One Family Year-Round Residence					
775	LANCASTER ST			One Family Year-Round Residence					
779	LANCASTER ST			Two Family Year-Round Residence					
781	LANCASTER ST			Two Family Year-Round Residence					
783	LANCASTER ST			One Family Year-Round Residence					
785	LANCASTER ST			One Family Year-Round Residence					
787	LANCASTER ST			One Family Year-Round Residence					
789	LANCASTER ST			One Family Year-Round Residence					
790	LANCASTER ST			Religious					
794	LANCASTER ST			Apartments (Commercial)					
798	LANCASTER ST			Apartments (Commercial)					
799	LANCASTER ST			Two Family Year-Round Residence					
800	LANCASTER ST			Apartments (Commercial)					
804	LANCASTER ST			Apartments (Commercial)					
807	LANCASTER ST			Two Family Year-Round Residence					
808	LANCASTER ST			One Family Year-Round Residence					
810	LANCASTER ST			Three Family Year-Round Residence					
814	LANCASTER ST			One Family Year-Round Residence					
816	LANCASTER ST			One Family Year-Round Residence					
817	LANCASTER ST			One Family Year-Round Residence					
818	LANCASTER ST			Two Family Year-Round Residence					
821	LANCASTER ST			Two Family Year-Round Residence					
822	LANCASTER ST			One Family Year-Round Residence					
824	LANCASTER ST			One Family Year-Round Residence					
827	LANCASTER ST			One Family Year-Round Residence					
828	LANCASTER ST			One Family Year-Round Residence					
829	LANCASTER ST			Two Family Year-Round Residence					
830	LANCASTER ST			One Family Year-Round Residence					
831	LANCASTER ST			Residential Vacant Land					
833	LANCASTER ST			One Family Year-Round Residence					
835	LANCASTER ST			Two Family Year-Round Residence					
836	LANCASTER ST			One Family Year-Round Residence					
838	LANCASTER ST			Two Family Year-Round Residence					
839	LANCASTER ST			Three Family Year-Round Residence					
863	LANCASTER ST			Two Family Year-Round Residence					
864	LANCASTER ST			One Family Year-Round Residence					
865	LANCASTER ST			Two Family Year-Round Residence					
866	LANCASTER ST			One Family Year-Round Residence					
868	LANCASTER ST			One Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks and featuring a full-width porch at the facade.	Rough-Faced Stone & Concrete Houses Potential Historic District	
869	LANCASTER ST			One Family Year-Round Residence					
870	LANCASTER ST			One Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks and featuring a full-width porch at the facade.	Rough-Faced Stone & Concrete Houses Potential Historic District	
872	LANCASTER ST			Two Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks and featuring a full-width porch at the facade.	Rough-Faced Stone & Concrete Houses Potential Historic District	
874	LANCASTER ST			One Family Year-Round Residence	N/C	ca. 1909	Two-and-one-half-story frame Four Square building.	Rough-Faced Stone & Concrete Houses Potential Historic District	
886	LANCASTER ST			Two Family Year-Round Residence					
888	LANCASTER ST			Three Family Year-Round Residence					
889	LANCASTER ST			Apartments (Commercial)					
890	LANCASTER ST			Two Family Year-Round Residence					
891	LANCASTER ST			Residential Vacant Land					
892	LANCASTER ST			One Family Year-Round Residence					
893	LANCASTER ST			Apartments (Commercial)					
894	LANCASTER ST			One Family Year-Round Residence					
896	LANCASTER ST			Two Family Year-Round Residence					
897	LANCASTER ST			One Family Year-Round Residence					
898	LANCASTER ST			Two Family Year-Round Residence					
899	LANCASTER ST			One Family Year-Round Residence					
901	LANCASTER ST			Two Family Year-Round Residence					
128	LAWRENCE ST			One Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
240	LAWRENCE ST			Religious					
256	LAWRENCE ST	Listed on SR, NF	Calvary Methodist Episcopal Church	Religious					CRIS data has address as 715 Morris Street.
781	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
783	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
785	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
787	MADISON AVE			(Commercial) Parking Lot					
789	MADISON AVE			(Commercial) One Story Small Structure					
790	MADISON AVE			(Commercial) Converted Residence					
791	MADISON AVE			(Commercial) One Story Small Structure					
793	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
795	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
797	MADISON AVE			(Commercial) One Story Small Structure					
799	MADISON AVE			Professional Building					
800	MADISON AVE			Apartments (Commercial)					
804	MADISON AVE			One Family Year-Round Residence					
806	MADISON AVE			Two Family Year-Round Residence					
807	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
808A	MADISON AVE			Three Family Year-Round Residence					
808B	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
809	MADISON AVE			(Commercial) One Story Small Structure					
810	MADISON AVE			(Commercial) Converted Residence					
811	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
817	MADISON AVE			(Commercial) Converted Residence					
820	MADISON AVE	Eligible	Presbyterian Church	Religious					
824	MADISON AVE			Two Family Year-Round Residence					
826	MADISON AVE			Two Family Year-Round Residence					
828	MADISON AVE			Two Family Year-Round Residence					
830	MADISON AVE			Two Family Year-Round Residence					
843	MADISON AVE			City/Town/Village Public Parks and Recreation Areas					
844	MADISON AVE	Eligible	Vincentian Institute	Apartments (Commercial)					
845	MADISON AVE			(Commercial) One Story Small Structure					
846	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
848	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
849	MADISON AVE			Restaurants					
850	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
851	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
852	MADISON AVE			(Commercial) Parking Lot					
853	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
854	MADISON AVE			(Commercial) Office Building					
858	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
859	MADISON AVE			Vacant Land Located in Commercial Areas					
860	MADISON AVE			Two Family Year-Round Residence					
861	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
863	MADISON AVE			Apartments (Commercial)					
864	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
865	MADISON AVE			Apartments (Commercial)					
866	MADISON AVE			Apartments (Commercial)					
869	MADISON AVE			(Commercial) Converted Residence					
870	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
871	MADISON AVE			Two Family Year-Round Residence					
875	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
877	MADISON AVE			(Commercial) Office Building	C	ca. 1961	Two-story brick building with a low-sloping roof.	College of Saint Rose Potential Historic District	
879	MADISON AVE			(Commercial) Office Building	N/C	ca. 1961	Two-story brick building with a low-sloping roof and recessed entrance to the west at the facade.	College of Saint Rose Potential Historic District	
890-900	MADISON AVE	Undetermined		Religious					
891	MADISON AVE		Magin and Keegan Funeral Home	Funeral Homes	N/C	ca. 1892	Two-and-one-half-story side-gabled building with a one-story block with a low-sloping roof appended to the facade of the main volume.	College of Saint Rose Potential Historic District	
901	MADISON AVE		Memorial Baptist Church	Religious	N/C	ca. 1892	One-story, double-height building with a low-sloping roof. The building's facade is clad with randomly-laid rough-faced stone.	College of Saint Rose Potential Historic District	
908	MADISON AVE		McCarthy Hall	Apartments (Commercial)	C	ca. 1892-1909	Two-and-one-half-story frame building. The building has a hipped roof and a full-width porch at the facade.	College of Saint Rose Potential Historic District	
912	MADISON AVE		Residence Hall	Apartments (Commercial)	C	ca. 1892-1909	Two-and-one-half-story frame building. The building has a hipped roof and a full-width porch at the facade.	College of Saint Rose Potential Historic District	
915	MADISON AVE	Undetermined	DeSales Hall	Colleges and Universities	C	ca. 1935	Two-and-one-half-story hipped-roof building clad with stucco. The facade features a recessed entry porch with arched openings.	College of Saint Rose Potential Historic District	
917	MADISON AVE	Undetermined	Rooney Hall/Fatima Hall	(Commercial) Converted Residence	C	ca. 1935	Two-and-one-half-story Prairie style building clad with stucco. The building features a full-width porch at the facade and deep eaves with groupings of two and three brackets located across each elevation.	College of Saint Rose Potential Historic District	
921	MADISON AVE	Undetermined	Maginn Hall	Colleges and Universities	C	ca. 1892	Two-and-one-half-story gable-front building with a turret at the western corner of the facade. The building's first story is clad with randomly-laid rough-faced stone.	College of Saint Rose Potential Historic District	Part of College of Saint Rose campus but the closest dot on the CRIS map is for 919 Madison Avenue.

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
923	MADISON AVE	Undetermined	Charter Hall	Colleges and Universities	C	ca. 1892	Two-and-one-half-story side-gabled brick building with stone corner quions. The facade features a turret to the east and the eaves have wood modillions.	College of Saint Rose Potential Historic District	
930	MADISON AVE		Centennial Hall	Colleges and Universities	N/C	ca. 2013	Three-story building clad with brick veneer and composite siding.	College of Saint Rose Potential Historic District	
935	MADISON AVE	Undetermined	Fontbonne Hall	Colleges and Universities	C	ca. 1892	Two-and-one-half-story side-gabled brick building with stone corner quions. The facade features a full-width porch and turret to the west and the eaves have wood modillions.	College of Saint Rose Potential Historic District	
937	MADISON AVE	Undetermined	Riley Hall	Colleges and Universities	N/C	1982-83	Two attached three-story buildings clad with vinyl siding.	College of Saint Rose Potential Historic District	
940	MADISON AVE		Unknown	Two Family Year-Round Residence	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof.	College of Saint Rose Potential Historic District	
943	MADISON AVE	Undetermined	Cavanaugh and Carondelet Halls	Colleges and Universities	N/C	1982-83	Two attached three-story buildings clad with vinyl siding.	College of Saint Rose Potential Historic District	
944	MADISON AVE		Carey Hall/Immaculate Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a side-gabled roof featuring a gable-front dormer.	College of Saint Rose Potential Historic District	
946-950	MADISON AVE		Student Apartments	Apartments (Commercial)	C	ca. 1892-1909	Two frame buildings on one lot. The building at 946 is a three-and-one-half-story brick building with a two-story addition at the facade clad with stone veneer. The building at 950 is a two-and-one-half-story frame building with a gable-front roof.	College of Saint Rose Potential Historic District	
947	MADISON AVE	Undetermined	Madison Hall	Colleges and Universities	C	ca. 1892-1909	Two-story frame building comprised of a rear volume with a side-gabled roof and two gable-front projecting blocks.	College of Saint Rose Potential Historic District	
955	MADISON AVE	Undetermined	Quillinan Hall/Assumption Hall	Colleges and Universities	C	ca. 1892	Two-and-one-half-story brick building with a gable-front projection. The building has a full-width porch at the facade.	College of Saint Rose Potential Historic District	
956	MADISON AVE		Student Apartments	Apartments (Commercial)	C	ca. 1892-1909	Two-and-one-half-story gable-front frame building with a two-story hipped-roof projection extending across the facade.	College of Saint Rose Potential Historic District	
958	MADISON AVE			(Commercial) Converted Residence	C	ca. 1892-1909	Two-and-one-half-story gable-front frame building with a two-story hipped-roof projection at the east end of the facade.	College of Saint Rose Potential Historic District	
959	MADISON AVE	Undetermined	Hubbard Interfaith Sanctuary	Colleges and Universities	C	1971	One-story, double-height brick building with a cross gable roof.	Noted as Cabrini Hall in CRIS based on 1977 campus information. The original Cabrini Hall was demolished and replaced with the current building. 399 Western Avenue renamed to Cabrini Hall.	
960	MADISON AVE			Three Family Year-Round Residence	N/C	ca. 1909-1933	Three-story frame building with a low-sloping roof and a full-height porch at the west end of the facade.	College of Saint Rose Potential Historic District	
962	MADISON AVE			Vacant Lot	N/C	N/A		College of Saint Rose Potential Historic District	
963	MADISON AVE	Undetermined	Wellworth Hall/Saint Agnes Hall	Colleges and Universities	C	ca. 1892	Two-and-one-half-story gable-front frame building with a wraparound porch.	College of Saint Rose Potential Historic District	
967	MADISON AVE	Undetermined	Casey Hall/Aquinas Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a side-gabled roof and full-width porch at the facade.	College of Saint Rose Potential Historic District	
968	MADISON AVE		Three Residence Halls	Inns, Lodges, Boarding and Rooming Houses, Tourist Homes, Fraternity and Sorority Houses	C	ca. 1892-1909	Three buildings on one lot. Nos. 968 and 972 are two-and-one-half-story frame buildings with hipped roofs and full-width porches at the facade. No. 974 is a two-and-one-half-story gable-front frame building with a wraparound porch.	College of Saint Rose Potential Historic District	
971	MADISON AVE	Undetermined	Gibbons Hall/Saint Edmund Hall	Colleges and Universities	C	ca. 1925	Two-and-one-half-story, gable-front frame building. The building has a full-height porch at the facade below the principal roof.	College of Saint Rose Potential Historic District	
975	MADISON AVE			Residential Vacant Land	N/C	N/A		College of Saint Rose Potential Historic District	
979	MADISON AVE	Undetermined	Moran Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof. The building has a wraparound porch at the facade.	College of Saint Rose Potential Historic District	
983	MADISON AVE	Undetermined	Saint Joseph Hall	Colleges and Universities	C	1923-24	Three-story brick building with limestone detailing.	College of Saint Rose Potential Historic District	
984	MADISON AVE		St. Vincent De Paul Parish School	Colleges and Universities	N/C	ca. 1994-2001	One-story building with an asphalt shingle roof and clad with vinyl siding.	College of Saint Rose Potential Historic District	
989	MADISON AVE			Residential Vacant Land		N/A		College of Saint Rose Potential Historic District	
993	MADISON AVE	Undetermined	Science Center	Colleges and Universities	N/C	1992	Three-story building clad with brick veneer.	College of Saint Rose Potential Historic District	
994	MADISON AVE	Undetermined	Huether School of Business	Colleges and Universities	N/C	ca. 1994-2001	Two-and-one-half-story building with a side-gabled roof. The building is clad with vinyl siding.	College of Saint Rose Potential Historic District	
996	MADISON AVE		Parking Lot	Colleges and Universities	N/C	ca. 2001-2004		College of Saint Rose Potential Historic District	
1000	MADISON AVE	Undetermined	Administration Center	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story gable-front frame building with a brick foundation. The building has a turret at the west end of the facade.	College of Saint Rose Potential Historic District	
1001	MADISON AVE	Undetermined	Scanian Hall	Colleges and Universities	C	ca. 1892	Two-and-one-half-story frame building with a side-gabled roof with a front-gable projection to the west and a turret to the east. The first story of the building is constructed of stone and the upper stories are clad with wood shingle siding.	College of Saint Rose Potential Historic District	
1002	MADISON AVE		Massry Center for the Arts	Colleges and Universities	N/C	ca. 2007-2009	Three-story building clad with brick veneer.	College of Saint Rose Potential Historic District	
1006	MADISON AVE		Offices	(Commercial) Office Building	C	Unknown	Two-and-one-half-story building with a hipped roof. The building is clad with stucco and features a hipped-roof porch at the facade that wraps around the east side of the building.	College of Saint Rose Potential Historic District	
1008	MADISON AVE			One Family Year-Round Residence	N/C	Unknown	Two-and-one-half-story building with a gable-front roof. The building is brick at the first story and features false half-timbering at the upper stories. A full-width porch extends across the first story of the facade.	College of Saint Rose Potential Historic District	
1009	MADISON AVE	Undetermined	Thelma P. Lally School of Education	Colleges and Universities	N/C	ca. 2001-2004	Three-story building consisting of a main block with a side-gabled roof and three equally-spaced projecting blocks at the facade.	College of Saint Rose Potential Historic District	
1010	MADISON AVE			One Family Year-Round Residence	N/C	1909	Two-and-one-half-story frame building with a hipped roof. The building features a two-story porch supported by fluted columns with Ionic capitals.	College of Saint Rose Potential Historic District	
1020	MADISON AVE		Michelle Cuzzo Borisjenok '80 House	Religious	C	ca. 1892	Two-story frame building with a gable-front projection and full-width porch at the facade.	College of Saint Rose Potential Historic District	
1024	MADISON AVE			One Family Year-Round Residence				College of Saint Rose Potential Historic District	
1028	MADISON AVE			(Commercial) One Story Small Structure				College of Saint Rose Potential Historic District	
1036	MADISON AVE			Motion Picture Theaters (excludes drive-in theaters)				College of Saint Rose Potential Historic District	
1050	MADISON AVE			(Commercial) Downtown Row Type (Detached)				College of Saint Rose Potential Historic District	

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
1060	MADISON AVE			Large Retail Food Stores					
1061	MADISON AVE			Two Family Year-Round Residence					
1063	MADISON AVE			Two Family Year-Round Residence					
1065	MADISON AVE			One Family Year-Round Residence					
1066	MADISON AVE			Fast Food Franchises					
1067	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
1069	MADISON AVE			Three Family Year-Round Residence					
1071	MADISON AVE			Apartments (Commercial)					
1078	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
1080	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
1082-1084	MADISON AVE			Drive-In Branch Bank					
1088	MADISON AVE			(Commercial) Parking Lot					
1090	MADISON AVE			(Commercial) Parking Lot					
1092	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
1094	MADISON AVE			Restaurants					
1108	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
1110	MADISON AVE			(Commercial) Downtown Row Type (Detached)					
1112	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
1116	MADISON AVE			(Commercial) Downtown Row Type (Common Wall)					
1123	MADISON AVE	Eligible	Steamer No. 10 Theater	Police and Fire Protection, Electrical Signal					CRIS data has address as 500 Western Avenue.
1146	MADISON AVE			Apartments (Commercial)					
1154	MADISON AVE			Apartments (Commercial)					
1156	MADISON AVE			Apartments (Commercial)					
10	MAIN AVE	Listed on SR, NF	St. Andrew's Episcopal Church	Religious					CRIS data shows as two buildings: 10 N. Main Avenue and 472 Western Avenue. Albany parcel data address is 10 Main Avenue.
2	MARPLE AVE			Two Family Year-Round Residence					
4	MARPLE AVE			Two Family Year-Round Residence					
8	MARPLE AVE			Two Family Year-Round Residence					
12	MARPLE AVE			One Family Year-Round Residence					
16	MARPLE AVE			One Family Year-Round Residence					
18	MARPLE AVE			One Family Year-Round Residence					
20	MARPLE AVE			Two Family Year-Round Residence					
22	MARPLE AVE			Two Family Year-Round Residence					
25	MARPLE AVE			Apartments (Commercial)					
26	MARPLE AVE			(Commercial) One Story Small Structure					
32	MARPLE AVE			One Family Year-Round Residence					
34	MARPLE AVE			One Family Year-Round Residence					
36	MARPLE AVE			One Family Year-Round Residence					
38	MARPLE AVE			One Family Year-Round Residence					
40	MARPLE AVE			One Family Year-Round Residence					
50	MARPLE AVE			Residential Vacant Land					
3	MARPLEWOOD ST			One Family Year-Round Residence					
5	MARPLEWOOD ST			One Family Year-Round Residence					
6	MARPLEWOOD ST			Two Family Year-Round Residence					
7	MARPLEWOOD ST			One Family Year-Round Residence					
8	MARPLEWOOD ST			Two Family Year-Round Residence					
9	MARPLEWOOD ST			Two Family Year-Round Residence					
10	MARPLEWOOD ST			Two Family Year-Round Residence					
11	MARPLEWOOD ST			Two Family Year-Round Residence					
12	MARPLEWOOD ST			Two Family Year-Round Residence					
15	MARPLEWOOD ST			Two Family Year-Round Residence					
16	MARPLEWOOD ST			Two Family Year-Round Residence					
17	MARPLEWOOD ST			Two Family Year-Round Residence					
18	MARPLEWOOD ST			One Family Year-Round Residence					
19	MARPLEWOOD ST			Two Family Year-Round Residence					
21	MARPLEWOOD ST			One Family Year-Round Residence					
22	MARPLEWOOD ST			Two Family Year-Round Residence					
23	MARPLEWOOD ST			One Family Year-Round Residence					
24	MARPLEWOOD ST			Two Family Year-Round Residence					
28	MARPLEWOOD ST			One Family Year-Round Residence					
519	MERCER ST			Three Family Year-Round Residence					
521	MERCER ST			One Family Year-Round Residence					
525	MERCER ST			One Family Year-Round Residence					
526	MERCER ST			Two Family Year-Round Residence					
530	MERCER ST			One Family Year-Round Residence					
531	MERCER ST			One Family Year-Round Residence					
532	MERCER ST			One Family Year-Round Residence					
533	MERCER ST			One Family Year-Round Residence					
535	MERCER ST			One Family Year-Round Residence					
536	MERCER ST			Two Family Year-Round Residence					
538	MERCER ST			One Family Year-Round Residence					
540	MERCER ST			One Family Year-Round Residence					
542	MERCER ST			Two Family Year-Round Residence					
546	MERCER ST			Two Family Year-Round Residence					
547	MERCER ST			One Family Year-Round Residence					
548	MERCER ST			Two Family Year-Round Residence					
549	MERCER ST			Two Family Year-Round Residence					
550	MERCER ST			Two Family Year-Round Residence					
551	MERCER ST			Apartments (Commercial)					
553	MERCER ST			Two Family Year-Round Residence					
554	MERCER ST			Two Family Year-Round Residence					
555	MERCER ST			Two Family Year-Round Residence					
556	MERCER ST			Two Family Year-Round Residence					
557	MERCER ST			Two Family Year-Round Residence					
560	MERCER ST			Two Family Year-Round Residence					
562	MERCER ST			One Family Year-Round Residence					
564	MERCER ST			One Family Year-Round Residence					
580	MERCER ST			Residential Vacant Land					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
592	MERCER ST			One Family Year-Round Residence					
596	MERCER ST			One Family Year-Round Residence					
600	MERCER ST			One Family Year-Round Residence					
604	MERCER ST			One Family Year-Round Residence					
606	MERCER ST			One Family Year-Round Residence					
610	MERCER ST			One Family Year-Round Residence					
612	MERCER ST			Two Family Year-Round Residence					
616	MERCER ST			Two Family Year-Round Residence					
618	MERCER ST			One Family Year-Round Residence					
620	MERCER ST			One Family Year-Round Residence					
622	MERCER ST			One Family Year-Round Residence					
624	MERCER ST			One Family Year-Round Residence					
626	MERCER ST			One Family Year-Round Residence					
628	MERCER ST			One Family Year-Round Residence					
630	MERCER ST			One Family Year-Round Residence					
646	MERCER ST			One Family Year-Round Residence					
648	MERCER ST			One Family Year-Round Residence					
650	MERCER ST			One Family Year-Round Residence					
654	MERCER ST			One Family Year-Round Residence					
656	MERCER ST			One Family Year-Round Residence					
658	MERCER ST			One Family Year-Round Residence					
660	MERCER ST			One Family Year-Round Residence					
664	MERCER ST			Two Family Year-Round Residence					
668	MERCER ST			One Family Year-Round Residence					
844	MERCER ST			One Family Year-Round Residence					
847	MERCER ST			One Family Year-Round Residence					
850	MERCER ST			One Family Year-Round Residence					
851	MERCER ST			One Family Year-Round Residence					
854	MERCER ST			One Family Year-Round Residence					
855	MERCER ST			One Family Year-Round Residence					
860	MERCER ST			One Family Year-Round Residence					
861	MERCER ST			One Family Year-Round Residence					
864	MERCER ST			One Family Year-Round Residence					
865	MERCER ST			One Family Year-Round Residence					
867	MERCER ST			One Family Year-Round Residence					
870	MERCER ST			One Family Year-Round Residence					
871	MERCER ST			Two Family Year-Round Residence					
872	MERCER ST			One Family Year-Round Residence					
875	MERCER ST			Two Family Year-Round Residence					
876	MERCER ST			One Family Year-Round Residence					
879	MERCER ST			One Family Year-Round Residence					
880	MERCER ST			One Family Year-Round Residence					
885	MERCER ST			Apartments (Commercial)					
889	MERCER ST			Two Family Year-Round Residence					
990	MERCER ST			Three Family Year-Round Residence					
891	MERCER ST			Two Family Year-Round Residence					
892	MERCER ST			Two Family Year-Round Residence					
894	MERCER ST			One Family Year-Round Residence					
895	MERCER ST			Two Family Year-Round Residence					
896	MERCER ST			One Family Year-Round Residence					
899	MERCER ST			Two Family Year-Round Residence					
927	MERCER ST			Three Family Year-Round Residence					
351	MORRIS ST			Two Family Year-Round Residence					
353	MORRIS ST			One Family Year-Round Residence					
355	MORRIS ST			Two Family Year-Round Residence					
357	MORRIS ST			Apartments (Commercial)					
358	MORRIS ST			Two Family Year-Round Residence					
362	MORRIS ST			Two Family Year-Round Residence					
366	MORRIS ST			Two Family Year-Round Residence					
367	MORRIS ST			Two Family Year-Round Residence					
369-371	MORRIS ST			Apartments (Commercial)					
370-372	MORRIS ST			Two Family Year-Round Residence					
373-375	MORRIS ST			One Family Year-Round Residence					
374	MORRIS ST			Two Family Year-Round Residence					
378	MORRIS ST			One Family Year-Round Residence					
379	MORRIS ST			Two Family Year-Round Residence					
380-382	MORRIS ST			Two Family Year-Round Residence					
384	MORRIS ST			Two Family Year-Round Residence					
385	MORRIS ST			Apartments (Commercial)					
388	MORRIS ST			Two Family Year-Round Residence					
389-391	MORRIS ST			Two Family Year-Round Residence					
390-392	MORRIS ST			Two Family Year-Round Residence					
393	MORRIS ST			Two Family Year-Round Residence					
394-396	MORRIS ST			Two Family Year-Round Residence					
395	MORRIS ST			Two Family Year-Round Residence					
398	MORRIS ST			Two Family Year-Round Residence					
400	MORRIS ST			Two Family Year-Round Residence					
431	MORRIS ST			Two Family Year-Round Residence					
432	MORRIS ST			One Family Year-Round Residence					
433	MORRIS ST			Two Family Year-Round Residence					
434	MORRIS ST			One Family Year-Round Residence					
436	MORRIS ST			One Family Year-Round Residence					
437	MORRIS ST			One Family Year-Round Residence					
439	MORRIS ST			One Family Year-Round Residence					
440	MORRIS ST			Three Family Year-Round Residence					
441	MORRIS ST			One Family Year-Round Residence					
442	MORRIS ST			Two Family Year-Round Residence					
443	MORRIS ST			Two Family Year-Round Residence					
444	MORRIS ST			Two Family Year-Round Residence					
445	MORRIS ST			Two Family Year-Round Residence					
446	MORRIS ST			Two Family Year-Round Residence					
447-449	MORRIS ST			Two Family Year-Round Residence					
448-450	MORRIS ST			Two Family Year-Round Residence					
452	MORRIS ST			Two Family Year-Round Residence					
453-455	MORRIS ST			Two Family Year-Round Residence					
454	MORRIS ST			Two Family Year-Round Residence					
457	MORRIS ST			Two Family Year-Round Residence					
461	MORRIS ST			Two Family Year-Round Residence					
462	MORRIS ST			Two Family Year-Round Residence					
463	MORRIS ST			One Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
465-467	MORRIS ST			Two Family Year-Round Residence					
466	MORRIS ST			Two Family Year-Round Residence					
468	MORRIS ST			Two Family Year-Round Residence					
469	MORRIS ST			Two Family Year-Round Residence					
471	MORRIS ST			Residential Vacant Land					
473	MORRIS ST			Two Family Year-Round Residence					
474	MORRIS ST	Not Eligible		Two Family Year-Round Residence					
476	MORRIS ST			Two Family Year-Round Residence					
478	MORRIS ST			One Family Year-Round Residence					
480	MORRIS ST			Two Family Year-Round Residence					
489	MORRIS ST			One Family Year-Round Residence					
491	MORRIS ST			Two Family Year-Round Residence					
492	MORRIS ST			Two Family Year-Round Residence					
493	MORRIS ST			One Family Year-Round Residence					
494	MORRIS ST			Two Family Year-Round Residence					
495	MORRIS ST			One Family Year-Round Residence					
497	MORRIS ST			Two Family Year-Round Residence					
498	MORRIS ST			One Family Year-Round Residence					
499	MORRIS ST			Two Family Year-Round Residence					
500	MORRIS ST			One Family Year-Round Residence					
501	MORRIS ST			One Family Year-Round Residence					
502	MORRIS ST			One Family Year-Round Residence					
503	MORRIS ST			Two Family Year-Round Residence					
504	MORRIS ST			Two Family Year-Round Residence					
505	MORRIS ST			Two Family Year-Round Residence					
506	MORRIS ST			Two Family Year-Round Residence					
507	MORRIS ST			Two Family Year-Round Residence					
508	MORRIS ST			Two Family Year-Round Residence					
509	MORRIS ST			One Family Year-Round Residence					
510	MORRIS ST			Two Family Year-Round Residence					
511	MORRIS ST			Two Family Year-Round Residence					
512	MORRIS ST			Two Family Year-Round Residence					
514	MORRIS ST			Two Family Year-Round Residence					
519	MORRIS ST			Two Family Year-Round Residence					
520	MORRIS ST			Apartments (Commercial)					
522	MORRIS ST			Two Family Year-Round Residence					
526	MORRIS ST			Two Family Year-Round Residence					
527	MORRIS ST			Two Family Year-Round Residence					
528	MORRIS ST			Two Family Year-Round Residence					
529	MORRIS ST			One Family Year-Round Residence					
530	MORRIS ST			Three Family Year-Round Residence					
532	MORRIS ST			Two Family Year-Round Residence					
536	MORRIS ST			Two Family Year-Round Residence					
538	MORRIS ST			One Family Year-Round Residence					
540	MORRIS ST			Two Family Year-Round Residence					
542	MORRIS ST			Two Family Year-Round Residence					
543	MORRIS ST			One Family Year-Round Residence					
544	MORRIS ST			One Family Year-Round Residence					
545	MORRIS ST			One Family Year-Round Residence					
546	MORRIS ST			One Family Year-Round Residence					
547	MORRIS ST			One Family Year-Round Residence					
548	MORRIS ST			One Family Year-Round Residence					
549	MORRIS ST			Two Family Year-Round Residence					
552-554	MORRIS ST			Two Family Year-Round Residence					
553	MORRIS ST			Two Family Year-Round Residence					
556	MORRIS ST			Two Family Year-Round Residence					
563	MORRIS ST			Two Family Year-Round Residence					
567	MORRIS ST			Three Family Year-Round Residence					
568	MORRIS ST	Morris Hall/Vincentian Convent		Colleges and Universities	C	1917	Three-story brick building with limestone detailing and an ashlar stone foundation. The building has a one-story, full-width enclosed porch at the facade.	College of Saint Rose Potential Historic District	
569	MORRIS ST			Three Family Year-Round Residence					
570	MORRIS ST			One Family Year-Round Residence					
571	MORRIS ST			Three Family Year-Round Residence					
572	MORRIS ST			One Family Year-Round Residence					
573	MORRIS ST			Two Family Year-Round Residence					
573-583	MORRIS ST (REAR)			(Commercial) Parking Lot					
575	MORRIS ST			One Family Year-Round Residence					
576	MORRIS ST			One Family Year-Round Residence					
577	MORRIS ST			One Family Year-Round Residence					
579	MORRIS ST			One Family Year-Round Residence					
580	MORRIS ST			One Family Year-Round Residence					
581	MORRIS ST			One Family Year-Round Residence					
582	MORRIS ST			One Family Year-Round Residence					
586	MORRIS ST			One Family Year-Round Residence					
588	MORRIS ST	Not Eligible		One Family Year-Round Residence					
590	MORRIS ST			One Family Year-Round Residence					
594	MORRIS ST			One Family Year-Round Residence					
596	MORRIS ST			One Family Year-Round Residence					
598	MORRIS ST			Two Family Year-Round Residence					
600	MORRIS ST			Apartments (Commercial)					
602-604	MORRIS ST			Two Family Year-Round Residence					
606	MORRIS ST			Two Family Year-Round Residence					
610-612	MORRIS ST			Two Family Year-Round Residence					
616	MORRIS ST			Two Family Year-Round Residence					
620	MORRIS ST			One Family Year-Round Residence					
624	MORRIS ST			One Family Year-Round Residence					
628	MORRIS ST			One Family Year-Round Residence					
632	MORRIS ST			One Family Year-Round Residence					
636	MORRIS ST			Two Family Year-Round Residence					
637	MORRIS ST			Two Family Year-Round Residence					
639	MORRIS ST			Two Family Year-Round Residence					
640	MORRIS ST			Two Family Year-Round Residence					
641	MORRIS ST			Two Family Year-Round Residence					
643	MORRIS ST			Two Family Year-Round Residence					
644	MORRIS ST			Apartments (Commercial)					
645	MORRIS ST			One Family Year-Round Residence					
646	MORRIS ST			Two Family Year-Round Residence					
650-652	MORRIS ST			Apartments (Commercial)					
651	MORRIS ST			One Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
653	MORRIS ST			One Family Year-Round Residence					
655	MORRIS ST			One Family Year-Round Residence					
656	MORRIS ST			One Family Year-Round Residence					
657	MORRIS ST			One Family Year-Round Residence					
659	MORRIS ST			One Family Year-Round Residence					
660	MORRIS ST			One Family Year-Round Residence					
661	MORRIS ST			Residential Vacant Land					
685	MORRIS ST			One Family Year-Round Residence					
686	MORRIS ST			One Family Year-Round Residence					
687	MORRIS ST			One Family Year-Round Residence					
688	MORRIS ST			One Family Year-Round Residence					
690	MORRIS ST			Two Family Year-Round Residence					
692	MORRIS ST			One Family Year-Round Residence					
693	MORRIS ST			One Family Year-Round Residence					
695	MORRIS ST	Undetermined		One Family Year-Round Residence					
696	MORRIS ST			One Family Year-Round Residence					
697	MORRIS ST			One Family Year-Round Residence					
699	MORRIS ST			One Family Year-Round Residence					
700	MORRIS ST			Apartments (Commercial)					
701	MORRIS ST			Two Family Year-Round Residence					
703	MORRIS ST			One Family Year-Round Residence					
724	MORRIS ST			One Family Year-Round Residence					
726	MORRIS ST			Two Family Year-Round Residence					
728	MORRIS ST			Two Family Year-Round Residence					
730	MORRIS ST			Two Family Year-Round Residence					
732	MORRIS ST			Two Family Year-Round Residence					
738	MORRIS ST			One Family Year-Round Residence					
742	MORRIS ST			One Family Year-Round Residence					
538	MYRTLE AVE			Apartments (Commercial)					
540	MYRTLE AVE			One Family Year-Round Residence					
541	MYRTLE AVE			Apartments (Commercial)					
542	MYRTLE AVE			One Family Year-Round Residence					
545	MYRTLE AVE			Apartments (Commercial)					
546	MYRTLE AVE			Three Family Year-Round Residence					
547	MYRTLE AVE			One Family Year-Round Residence					
550	MYRTLE AVE			Two Family Year-Round Residence					
551	MYRTLE AVE			Apartments (Commercial)					
554	MYRTLE AVE			One Family Year-Round Residence					
555	MYRTLE AVE			One Family Year-Round Residence					
558	MYRTLE AVE			One Family Year-Round Residence					
559	MYRTLE AVE			One Family Year-Round Residence					
560	MYRTLE AVE			Apartments (Commercial)					
563	MYRTLE AVE			One Family Year-Round Residence					
564	MYRTLE AVE			One Family Year-Round Residence					
567	MYRTLE AVE			One Family Year-Round Residence					
568	MYRTLE AVE			One Family Year-Round Residence					
570	MYRTLE AVE			One Family Year-Round Residence					
571	MYRTLE AVE			One Family Year-Round Residence					
572	MYRTLE AVE			One Family Year-Round Residence					
574	MYRTLE AVE			One Family Year-Round Residence					
575	MYRTLE AVE			Two Family Year-Round Residence					
576	MYRTLE AVE			One Family Year-Round Residence					
579	MYRTLE AVE			One Family Year-Round Residence					
580	MYRTLE AVE	Undetermined		Two Family Year-Round Residence					
581	MYRTLE AVE			Two Family Year-Round Residence					
586	MYRTLE AVE			One Family Year-Round Residence					
607	MYRTLE AVE			Three Family Year-Round Residence					
608	MYRTLE AVE			Two Family Year-Round Residence					
609	MYRTLE AVE			Two Family Year-Round Residence					
610	MYRTLE AVE			Two Family Year-Round Residence					
611	MYRTLE AVE			Two Family Year-Round Residence					
612	MYRTLE AVE			Two Family Year-Round Residence					
613	MYRTLE AVE			Two Family Year-Round Residence					
614	MYRTLE AVE			Two Family Year-Round Residence					
615	MYRTLE AVE			Two Family Year-Round Residence					
616	MYRTLE AVE			Two Family Year-Round Residence					
617	MYRTLE AVE			Two Family Year-Round Residence					
618	MYRTLE AVE			Two Family Year-Round Residence					
619	MYRTLE AVE			Two Family Year-Round Residence					
620	MYRTLE AVE			Two Family Year-Round Residence					
621	MYRTLE AVE			Two Family Year-Round Residence					
623	MYRTLE AVE			Two Family Year-Round Residence					
624	MYRTLE AVE			One Family Year-Round Residence					
626	MYRTLE AVE			Two Family Year-Round Residence					
628	MYRTLE AVE			One Family Year-Round Residence					
630	MYRTLE AVE			Residential Land including a Small Improvement (not used for living accommodations)					
632	MYRTLE AVE			One Family Year-Round Residence					
634	MYRTLE AVE			One Family Year-Round Residence					
635	MYRTLE AVE			Two Family Year-Round Residence					
636	MYRTLE AVE			Two Family Year-Round Residence					
637	MYRTLE AVE			Two Family Year-Round Residence					
639	MYRTLE AVE			Two Family Year-Round Residence					
640	MYRTLE AVE			Two Family Year-Round Residence					
641	MYRTLE AVE	Undetermined		Two Family Year-Round Residence					
642	MYRTLE AVE			Residential Vacant Land					
643	MYRTLE AVE			Two Family Year-Round Residence					
644	MYRTLE AVE			Two Family Year-Round Residence					
645	MYRTLE AVE			Two Family Year-Round Residence					
647	MYRTLE AVE			Two Family Year-Round Residence					
649	MYRTLE AVE			Two Family Year-Round Residence					
651	MYRTLE AVE			Two Family Year-Round Residence					
652	MYRTLE AVE			Two Family Year-Round Residence					
656	MYRTLE AVE			Two Family Year-Round Residence					
657	MYRTLE AVE			Two Family Year-Round Residence					
658	MYRTLE AVE			Two Family Year-Round Residence					
659	MYRTLE AVE			One Family Year-Round Residence					
660	MYRTLE AVE			Two Family Year-Round Residence					
661	MYRTLE AVE			One Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
662	MYRTLE AVE			Two Family Year-Round Residence					
663	MYRTLE AVE			Two Family Year-Round Residence					
664	MYRTLE AVE			Two Family Year-Round Residence					
665	MYRTLE AVE			Two Family Year-Round Residence					
669	MYRTLE AVE			Two Family Year-Round Residence					
670	MYRTLE AVE			Two Family Year-Round Residence					
671	MYRTLE AVE			Two Family Year-Round Residence					
673	MYRTLE AVE			Two Family Year-Round Residence					
674	MYRTLE AVE	Not Eligible		One Family Year-Round Residence					
675	MYRTLE AVE			Two Family Year-Round Residence					
677	MYRTLE AVE			Two Family Year-Round Residence					
678	MYRTLE AVE			One Family Year-Round Residence					
679	MYRTLE AVE			Two Family Year-Round Residence					
680	MYRTLE AVE			Residential Vacant Land					
681	MYRTLE AVE			Two Family Year-Round Residence					
682	MYRTLE AVE			One Family Year-Round Residence					
683	MYRTLE AVE			One Family Year-Round Residence					
684	MYRTLE AVE			One Family Year-Round Residence					
685	MYRTLE AVE			Two Family Year-Round Residence					
686	MYRTLE AVE			Two Family Year-Round Residence					
687	MYRTLE AVE			Two Family Year-Round Residence					
688	MYRTLE AVE			Two Family Year-Round Residence					
689	MYRTLE AVE			Two Family Year-Round Residence					
690	MYRTLE AVE			Two Family Year-Round Residence					
691	MYRTLE AVE			One Family Year-Round Residence					
692	MYRTLE AVE			Two Family Year-Round Residence					
693	MYRTLE AVE			One Family Year-Round Residence					
695	MYRTLE AVE			One Family Year-Round Residence					
696	MYRTLE AVE			Apartments (Commercial)					
697	MYRTLE AVE			One Family Year-Round Residence					
700	MYRTLE AVE			Three Family Year-Round Residence					
702	MYRTLE AVE			Two Family Year-Round Residence					
706	MYRTLE AVE			Three Family Year-Round Residence					
709	MYRTLE AVE			Two Family Year-Round Residence					
711	MYRTLE AVE			Two Family Year-Round Residence					
714	MYRTLE AVE			Two Family Year-Round Residence					
715	MYRTLE AVE			Two Family Year-Round Residence					
716	MYRTLE AVE			Two Family Year-Round Residence					
717	MYRTLE AVE			Three Family Year-Round Residence					
718	MYRTLE AVE			Three Family Year-Round Residence					
721	MYRTLE AVE			One Family Year-Round Residence					
722	MYRTLE AVE			Two Family Year-Round Residence					
723	MYRTLE AVE			One Family Year-Round Residence					
725	MYRTLE AVE			One Family Year-Round Residence					
726	MYRTLE AVE			Two Family Year-Round Residence					
730	MYRTLE AVE			Two Family Year-Round Residence					
734	MYRTLE AVE			Two Family Year-Round Residence					
738	MYRTLE AVE			Two Family Year-Round Residence					
741	MYRTLE AVE			Two Family Year-Round Residence					
742	MYRTLE AVE			Two Family Year-Round Residence					
743	MYRTLE AVE			One Family Year-Round Residence					
744	MYRTLE AVE			Two Family Year-Round Residence					
747	MYRTLE AVE			Residential Vacant Land					
748	MYRTLE AVE			Two Family Year-Round Residence					
749	MYRTLE AVE			One Family Year-Round Residence					
751	MYRTLE AVE			Two Family Year-Round Residence					
752	MYRTLE AVE			Two Family Year-Round Residence					
754	MYRTLE AVE			Two Family Year-Round Residence					
757	MYRTLE AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
758	MYRTLE AVE			Two Family Year-Round Residence					
759	MYRTLE AVE			Two Family Year-Round Residence					
760	MYRTLE AVE			Two Family Year-Round Residence					
761	MYRTLE AVE			Two Family Year-Round Residence					
763	MYRTLE AVE			One Family Year-Round Residence					
764	MYRTLE AVE			Two Family Year-Round Residence					
767	MYRTLE AVE			One Family Year-Round Residence					
768	MYRTLE AVE			Two Family Year-Round Residence					
771	MYRTLE AVE			Two Family Year-Round Residence					
772	MYRTLE AVE			Apartments (Commercial)					
775	MYRTLE AVE			Apartments (Commercial)					
778	MYRTLE AVE			One Family Year-Round Residence					
779	MYRTLE AVE			Two Family Year-Round Residence					
780	MYRTLE AVE			Two Family Year-Round Residence					
782	MYRTLE AVE			One Family Year-Round Residence					
786	MYRTLE AVE			One Family Year-Round Residence					
789	MYRTLE AVE			One Family Year-Round Residence					
790	MYRTLE AVE			One Family Year-Round Residence					
792-794	MYRTLE AVE			Two Family Year-Round Residence					
793	MYRTLE AVE			One Family Year-Round Residence					
796	MYRTLE AVE			Two Family Year-Round Residence					
797	MYRTLE AVE			One Family Year-Round Residence					
799	MYRTLE AVE			One Family Year-Round Residence					
802	MYRTLE AVE			Apartments (Commercial)					
805	MYRTLE AVE			Two Family Year-Round Residence					
807	MYRTLE AVE			Two Family Year-Round Residence					
808	MYRTLE AVE			Three Family Year-Round Residence					
809	MYRTLE AVE			Two Family Year-Round Residence					
810	MYRTLE AVE			Two Family Year-Round Residence					
811	MYRTLE AVE			Two Family Year-Round Residence					
812	MYRTLE AVE			Two Family Year-Round Residence					
815	MYRTLE AVE			Two Family Year-Round Residence					
816	MYRTLE AVE			Two Family Year-Round Residence					
817	MYRTLE AVE			Two Family Year-Round Residence					
818	MYRTLE AVE			Two Family Year-Round Residence					
819	MYRTLE AVE			Two Family Year-Round Residence					
821	MYRTLE AVE			Two Family Year-Round Residence					
822	MYRTLE AVE			One Family Year-Round Residence					
823	MYRTLE AVE			Two Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
824	MYRTLE AVE			One Family Year-Round Residence					
825	MYRTLE AVE			Two Family Year-Round Residence					
826	MYRTLE AVE			One Family Year-Round Residence					
830	MYRTLE AVE			One Family Year-Round Residence					
832	MYRTLE AVE			One Family Year-Round Residence					
834	MYRTLE AVE			One Family Year-Round Residence					
847	MYRTLE AVE			Two Family Year-Round Residence					
851	MYRTLE AVE			One Family Year-Round Residence					
852	MYRTLE AVE			One Family Year-Round Residence					
854	MYRTLE AVE			One Family Year-Round Residence					
855	MYRTLE AVE			One Family Year-Round Residence					
858	MYRTLE AVE			Two Family Year-Round Residence					
859	MYRTLE AVE			One Family Year-Round Residence					
860	MYRTLE AVE			Two Family Year-Round Residence					
862	MYRTLE AVE			Two Family Year-Round Residence					
863	MYRTLE AVE			One Family Year-Round Residence					
864	MYRTLE AVE			Two Family Year-Round Residence					
865	MYRTLE AVE			Residential Vacant Land					
866	MYRTLE AVE			Two Family Year-Round Residence					
867	MYRTLE AVE			One Family Year-Round Residence					
868	MYRTLE AVE			One Family Year-Round Residence					
872	MYRTLE AVE			One Family Year-Round Residence					
887	MYRTLE AVE			One Family Year-Round Residence					
891	MYRTLE AVE			(Commercial) Retail Services					
895	MYRTLE AVE			One Family Year-Round Residence					
896	MYRTLE AVE			One Family Year-Round Residence					
898	MYRTLE AVE			One Family Year-Round Residence					
899	MYRTLE AVE			One Family Year-Round Residence					
900	MYRTLE AVE			One Family Year-Round Residence					
903	MYRTLE AVE			Two Family Year-Round Residence					
904	MYRTLE AVE			One Family Year-Round Residence					
905	MYRTLE AVE			One Family Year-Round Residence					
906	MYRTLE AVE			One Family Year-Round Residence					
910	MYRTLE AVE			One Family Year-Round Residence					
912	MYRTLE AVE			One Family Year-Round Residence					
916	MYRTLE AVE			One Family Year-Round Residence					
918	MYRTLE AVE			Two Family Year-Round Residence					
919	MYRTLE AVE			One Family Year-Round Residence					
920	MYRTLE AVE			One Family Year-Round Residence					
921	MYRTLE AVE			One Family Year-Round Residence					
922	MYRTLE AVE			One Family Year-Round Residence					
923	MYRTLE AVE			One Family Year-Round Residence					
925	MYRTLE AVE			One Family Year-Round Residence					
927	MYRTLE AVE			One Family Year-Round Residence					
942	MYRTLE AVE			One Family Year-Round Residence					
944	MYRTLE AVE			One Family Year-Round Residence					
945	MYRTLE AVE			Two Family Year-Round Residence					
946	MYRTLE AVE			One Family Year-Round Residence					
947	MYRTLE AVE			One Family Year-Round Residence					
949	MYRTLE AVE			One Family Year-Round Residence					
12	N ALLEN ST			Two Family Year-Round Residence					
14	N ALLEN ST			Two Family Year-Round Residence					
17	N ALLEN ST			Two Family Year-Round Residence					
18	N ALLEN ST			Two Family Year-Round Residence					
20	N ALLEN ST			One Family Year-Round Residence					
22	N ALLEN ST			One Family Year-Round Residence					
24	N ALLEN ST			Apartments (Commercial)					
28	N ALLEN ST			Two Family Year-Round Residence					
30	N ALLEN ST			One Family Year-Round Residence					
34	N ALLEN ST			One Family Year-Round Residence					
37	N ALLEN ST			Schools					
38	N ALLEN ST			One Family Year-Round Residence					
40	N ALLEN ST			One Family Year-Round Residence					
42	N ALLEN ST			One Family Year-Round Residence					
46	N ALLEN ST			Three Family Year-Round Residence					
50	N ALLEN ST			Apartments (Commercial)					
52	N ALLEN ST			Two Family Year-Round Residence					
53	N ALLEN ST			Apartments (Commercial)					
54	N ALLEN ST			One Family Year-Round Residence					
55	N ALLEN ST			Two Family Year-Round Residence					
56	N ALLEN ST			Two Family Year-Round Residence					
57	N ALLEN ST			Two Family Year-Round Residence					
58	N ALLEN ST			One Family Year-Round Residence					
59	N ALLEN ST			Two Family Year-Round Residence					
60	N ALLEN ST			Two Family Year-Round Residence					
61	N ALLEN ST			Two Family Year-Round Residence					
64	N ALLEN ST			Two Family Year-Round Residence					
66	N ALLEN ST			Three Family Year-Round Residence					
67	N ALLEN ST			Two Family Year-Round Residence					
69	N ALLEN ST			Three Family Year-Round Residence					
70	N ALLEN ST			Apartments (Commercial)					
71	N ALLEN ST			Three Family Year-Round Residence					
72	N ALLEN ST			Two Family Year-Round Residence					
73	N ALLEN ST			Two Family Year-Round Residence					
74	N ALLEN ST			Two Family Year-Round Residence					
76	N ALLEN ST			Two Family Year-Round Residence					
78	N ALLEN ST			Two Family Year-Round Residence					
79	N ALLEN ST			Apartments (Commercial)					
80	N ALLEN ST			Apartments (Commercial)					
81	N ALLEN ST			Two Family Year-Round Residence					
83	N ALLEN ST			Three Family Year-Round Residence					
84	N ALLEN ST			Three Family Year-Round Residence					
85	N ALLEN ST			Two Family Year-Round Residence					
86	N ALLEN ST			One Family Year-Round Residence					
90	N ALLEN ST			Three Family Year-Round Residence					
91	N ALLEN ST			Apartments (Commercial)					
92	N ALLEN ST			One Family Year-Round Residence					
94	N ALLEN ST			Two Family Year-Round Residence					
95	N ALLEN ST			Apartments (Commercial)					
97	N ALLEN ST			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
98	N ALLEN ST			One Family Year-Round Residence					
99	N ALLEN ST			One Family Year-Round Residence					
101	N ALLEN ST			One Family Year-Round Residence					
102	N ALLEN ST			One Family Year-Round Residence					
105	N ALLEN ST			One Family Year-Round Residence					
106	N ALLEN ST			Apartments (Commercial)					
107	N ALLEN ST			One Family Year-Round Residence					
109	N ALLEN ST			One Family Year-Round Residence					
110	N ALLEN ST			Apartments (Commercial)					
111	N ALLEN ST			Two Family Year-Round Residence					
112	N ALLEN ST			Three Family Year-Round Residence					
113	N ALLEN ST			Two Family Year-Round Residence					
114	N ALLEN ST			Residential Vacant Land					
115	N ALLEN ST			Two Family Year-Round Residence					
116	N ALLEN ST			Residential Vacant Land					
117	N ALLEN ST			Three Family Year-Round Residence					
118	N ALLEN ST			Two Family Year-Round Residence					
119	N ALLEN ST			Three Family Year-Round Residence					
120	N ALLEN ST			One Family Year-Round Residence					
121	N ALLEN ST			Two Family Year-Round Residence					
122	N ALLEN ST			Two Family Year-Round Residence					
123	N ALLEN ST			Two Family Year-Round Residence					
125	N ALLEN ST			Two Family Year-Round Residence					
126	N ALLEN ST			Residential Vacant Land					
127	N ALLEN ST			(Commercial) Downtown Row Type (Detached)					
1	N MAIN AVE			Two Family Year-Round Residence					
3	N MAIN AVE			Two Family Year-Round Residence					
5	N MAIN AVE			One Family Year-Round Residence					
7	N MAIN AVE			One Family Year-Round Residence					
9	N MAIN AVE			One Family Year-Round Residence					
11	N MAIN AVE			One Family Year-Round Residence					
13	N MAIN AVE			One Family Year-Round Residence					
15	N MAIN AVE			One Family Year-Round Residence					
17	N MAIN AVE			One Family Year-Round Residence					
19	N MAIN AVE			Two Family Year-Round Residence					
21	N MAIN AVE			Apartments (Commercial)					
23	N MAIN AVE			One Family Year-Round Residence					
25	N MAIN AVE			All Other Health Facilities					
27	N MAIN AVE			Religious					
29	N MAIN AVE			Religious					
30	N MAIN (REAR)			Residential Vacant Land	N/C	N/A		Roman Catholic Diocese N. Main Avenue Complex Potential Historic District	
31	N MAIN AVE			One Family Year-Round Residence					
33	N MAIN AVE			Apartments (Commercial)					
35	N MAIN AVE	Not Eligible		Two Family Year-Round Residence					
40	N MAIN AVE			Religious	C	1913-14	Three buildings of fireproof construction with brick exteriors featuring limestone detailing.	Roman Catholic Diocese N. Main Avenue Complex Potential Historic District	
41	N MAIN AVE			Religious					
43	N MAIN AVE			One Family Year-Round Residence					
47	N MAIN AVE			One Family Year-Round Residence					
51	N MAIN AVE			One Family Year-Round Residence					
55	N MAIN AVE			One Family Year-Round Residence					
63	N MAIN AVE			One Family Year-Round Residence					
65	N MAIN AVE			Two Family Year-Round Residence					
69	N MAIN AVE			Apartments (Commercial)					
75	N MAIN AVE			Three Family Year-Round Residence					
77	N MAIN AVE			Two Family Year-Round Residence					
79	N MAIN AVE			Two Family Year-Round Residence					
80	N MAIN AVE	Not Eligible		Army, Navy, Air Force, Marine and Coast Guard					
81	N MAIN AVE			Two Family Year-Round Residence					
85	N MAIN AVE			Two Family Year-Round Residence					
90	N MAIN AVE			Army, Navy, Air Force, Marine and Coast Guard					
1	N PINE AVE	Eligible	Elmendorf Twin Home	One Family Year-Round Residence					
5	N PINE AVE			Two Family Year-Round Residence					
6	N PINE AVE			One Family Year-Round Residence					
10	N PINE AVE			Two Family Year-Round Residence					
11	N PINE AVE			One Family Year-Round Residence					
14	N PINE AVE			Three Family Year-Round Residence					
18	N PINE AVE			One Family Year-Round Residence					
21	N PINE AVE			One Family Year-Round Residence					
22	N PINE AVE			One Family Year-Round Residence					
25	N PINE AVE			Two Family Year-Round Residence					
26	N PINE AVE			One Family Year-Round Residence					
27	N PINE AVE			Apartments (Commercial)					
30	N PINE AVE			One Family Year-Round Residence					
31	N PINE AVE			One Family Year-Round Residence					
34	N PINE AVE			One Family Year-Round Residence					
35	N PINE AVE			Two Family Year-Round Residence					
37	N PINE AVE			One Family Year-Round Residence					
38	N PINE AVE			Residential (Multi-Purpose / Multi-Structure)					
39	N PINE AVE			One Family Year-Round Residence					
42	N PINE AVE			Three Family Year-Round Residence					
43	N PINE AVE			Three Family Year-Round Residence					
44	N PINE AVE			Three Family Year-Round Residence					
49	N PINE AVE			Three Family Year-Round Residence					
50	N PINE AVE			Two Family Year-Round Residence					
53	N PINE AVE			Three Family Year-Round Residence					
54	N PINE AVE			Apartments (Commercial)					
55	N PINE AVE	Not Eligible		Apartments (Commercial)					
56	N PINE AVE	Not Eligible		Religious					
57	N PINE AVE	Undetermined		Two Family Year-Round Residence					
61	N PINE AVE			Three Family Year-Round Residence					
62	N PINE AVE			Apartments (Commercial)					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
63	N PINE AVE			Two Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks and featuring a full-width porch at the facade.	Rough-Faced Stone & Concrete Houses Potential Historic District	
65	N PINE AVE			Apartments (Commercial)	N/C	ca. 1909	Two-and-one-half-story gable-front frame building.	Rough-Faced Stone & Concrete Houses Potential Historic District	
66	N PINE AVE			Two Family Year-Round Residence					
67	N PINE AVE			Two Family Year-Round Residence	N/C	ca. 1909	Two-and-one-half-story gable-front frame building.	Rough-Faced Stone & Concrete Houses Potential Historic District	
68	N PINE AVE			One Family Year-Round Residence					
69	N PINE AVE			Two Family Year-Round Residence	N/C	ca. 1909	Two-and-one-half-story gable-front frame building.	Rough-Faced Stone & Concrete Houses Potential Historic District	
70	N PINE AVE			One Family Year-Round Residence					
71	N PINE AVE			One Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks and featuring a full-width porch at the facade.	Rough-Faced Stone & Concrete Houses Potential Historic District	
74	N PINE AVE			One Family Year-Round Residence					
76	N PINE AVE			One Family Year-Round Residence					
78	N PINE AVE			One Family Year-Round Residence					
82	N PINE AVE			One Family Year-Round Residence					
84	N PINE AVE			One Family Year-Round Residence					
85	N PINE AVE			Two Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks and featuring a full-width porch at the facade.	Rough-Faced Stone & Concrete Houses Potential Historic District	
87	N PINE AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
89	N PINE AVE			Two Family Year-Round Residence	C	ca. 1909	Two-and-one-half-story Four Square building constructed of pressed concrete blocks located on the southeast corner of N Pine Avenue and Lancaster Street. The building has a full-width porch at the elevation fronting Lancaster Street and symmetrical fenestration with a central entrance under a rounded portico at the N Pine Avenue elevation.	Rough-Faced Stone & Concrete Houses Potential Historic District	
91	N PINE AVE			Apartments (Commercial)	C	1901-02	Two-and-one-half-story Four Square building located at the northeast corner of N Pine Avenue and Lancaster Street. The building is clad with randomly-laid rough-faced stone.	Rough-Faced Stone & Concrete Houses Potential Historic District	
93	N PINE AVE			One Family Year-Round Residence					
94	N PINE AVE			Apartments (Commercial)					
96	N PINE AVE			Apartments (Commercial)					
97	N PINE AVE			One Family Year-Round Residence					
98	N PINE AVE			Apartments (Commercial)					
100	N PINE AVE			Apartments (Commercial)					
101	N PINE AVE			One Family Year-Round Residence					
103	N PINE AVE			One Family Year-Round Residence					
106	N PINE AVE			Two Family Year-Round Residence					
107	N PINE AVE			One Family Year-Round Residence					
108	N PINE AVE			One Family Year-Round Residence					
110	N PINE AVE			One Family Year-Round Residence					
111	N PINE AVE			One Family Year-Round Residence					
112	N PINE AVE			Three Family Year-Round Residence					
115	N PINE AVE			One Family Year-Round Residence					
117	N PINE AVE			One Family Year-Round Residence					
118	N PINE AVE			One Family Year-Round Residence					
121	N PINE AVE			Two Family Year-Round Residence					
122	N PINE AVE			One Family Year-Round Residence					
123	N PINE AVE			Two Family Year-Round Residence					
124	N PINE AVE			One Family Year-Round Residence					
125	N PINE AVE			One Family Year-Round Residence					
126	N PINE AVE			One Family Year-Round Residence					
127	N PINE AVE			Two Family Year-Round Residence					
129	N PINE AVE			One Family Year-Round Residence					
130	N PINE AVE			One Family Year-Round Residence					
131	N PINE AVE			One Family Year-Round Residence					
132	N PINE AVE			One Family Year-Round Residence					
133	N PINE AVE			Residential Vacant Land					
134	N PINE AVE			One Family Year-Round Residence					
135	N PINE AVE			Two Family Year-Round Residence					
136	N PINE AVE			One Family Year-Round Residence					
137	N PINE AVE			Two Family Year-Round Residence					
139	N PINE AVE			One Family Year-Round Residence					
140	N PINE AVE			Two Family Year-Round Residence					
141	N PINE AVE			One Family Year-Round Residence					
143	N PINE AVE			Two Family Year-Round Residence					
144	N PINE AVE			Two Family Year-Round Residence					
148	N PINE AVE			One Family Year-Round Residence					
152	N PINE AVE			Two Family Year-Round Residence					
156	N PINE AVE			Two Family Year-Round Residence					
199	NEW SCOTLAND AVE			(Commercial) Converted Residence					
209	NEW SCOTLAND AVE			One Family Year-Round Residence					
217	NEW SCOTLAND AVE			One Family Year-Round Residence					
219	NEW SCOTLAND AVE			Two Family Year-Round Residence					
227	NEW SCOTLAND AVE			One Family Year-Round Residence					
229	NEW SCOTLAND AVE			Two Family Year-Round Residence					
231	NEW SCOTLAND AVE			Two Family Year-Round Residence					
233	NEW SCOTLAND AVE			Two Family Year-Round Residence					
253	NEW SCOTLAND AVE			Gas Stations and Services					
255	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
257	NEW SCOTLAND AVE			(Commercial) One Story Small Structure (Multi-Occupant)					
261	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
263	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
265	NEW SCOTLAND AVE			(Commercial) One Story Small Structure (Multi-Occupant)					
267	NEW SCOTLAND AVE			(Commercial) One Story Small Structure					
269	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
273	NEW SCOTLAND AVE			(Commercial) One Story Small Structure					
275	NEW SCOTLAND AVE			Bar					
277	NEW SCOTLAND AVE			(Commercial) One Story Small Structure					
279	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
281	NEW SCOTLAND AVE			(Commercial) One Story Small Structure					
283	NEW SCOTLAND AVE			(Commercial) One Story Small Structure					
285	NEW SCOTLAND AVE			Minimart					
289	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
291	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
295	NEW SCOTLAND AVE			Drive-In Branch Bank					
305	NEW SCOTLAND AVE			Apartments (Commercial)					
311	NEW SCOTLAND AVE			One Family Year-Round Residence					
315	NEW SCOTLAND AVE			Two Family Year-Round Residence					
317	NEW SCOTLAND AVE			Two Family Year-Round Residence					
319	NEW SCOTLAND AVE			Two Family Year-Round Residence					
321	NEW SCOTLAND AVE			Two Family Year-Round Residence					
337	NEW SCOTLAND AVE			Apartments (Commercial)					
341	NEW SCOTLAND AVE			Apartments (Commercial)					
343	NEW SCOTLAND AVE			Two Family Year-Round Residence					
345	NEW SCOTLAND AVE			Two Family Year-Round Residence					
347	NEW SCOTLAND AVE			Two Family Year-Round Residence					
353	NEW SCOTLAND AVE			Two Family Year-Round Residence					
361	NEW SCOTLAND AVE			Apartments (Commercial)					
363	NEW SCOTLAND AVE			Two Family Year-Round Residence					
365	NEW SCOTLAND AVE			(Commercial) Converted Residence					
369	NEW SCOTLAND AVE			(Commercial) Parking Lot					
385	NEW SCOTLAND AVE	Eligible	New Scotland Elementary School	Schools					CRIS data has address as 369 New Scotland Avenue.
397	NEW SCOTLAND AVE	Eligible	St. Teresa of Avila Convent	Religious					
409	NEW SCOTLAND AVE			(Commercial) Converted Residence					
413	NEW SCOTLAND AVE			(Commercial) Parking Lot					
425	NEW SCOTLAND AVE	Eligible	St. Teresa of Avila Grammar School	All Other Health Facilities					
431	NEW SCOTLAND AVE	Eligible	St. Teresa of Avila Rectory	(Commercial) Downtown Row Type (Detached)					CRIS data has address as 427 New Scotland Avenue.
435	NEW SCOTLAND AVE	Eligible	St. Teresa of Avila Church	Radio, TV and Motion Picture Studios					CRIS data has address as 429 New Scotland Avenue. Parcel has additional green dot for the entire complex.
441	NEW SCOTLAND AVE	Eligible	Albany Fire Department Engine 11, Ladder 5	Police and Fire Protection, Electrical Signal					
455	NEW SCOTLAND AVE	Not Eligible		Libraries					
459	NEW SCOTLAND AVE			Two Family Year-Round Residence					
463	NEW SCOTLAND AVE			Religious					
471	NEW SCOTLAND AVE			Two Family Year-Round Residence					
481	NEW SCOTLAND AVE			Apartments (Commercial)					
485	NEW SCOTLAND AVE			One Family Year-Round Residence					
495	NEW SCOTLAND AVE			One Family Year-Round Residence					
499	NEW SCOTLAND AVE			One Family Year-Round Residence					
507	NEW SCOTLAND AVE			Two Family Year-Round Residence					
509	NEW SCOTLAND AVE			Two Family Year-Round Residence					
511	NEW SCOTLAND AVE			Two Family Year-Round Residence					
515	NEW SCOTLAND AVE			Apartments (Commercial)					
517	NEW SCOTLAND AVE			Two Family Year-Round Residence					
519	NEW SCOTLAND AVE			Two Family Year-Round Residence					
539	NEW SCOTLAND AVE			Apartments (Commercial)					
543	NEW SCOTLAND AVE			Apartments (Commercial)					
555	NEW SCOTLAND AVE			Apartments (Commercial)					
557	NEW SCOTLAND AVE	Undetermined		Apartments (Commercial)					
561	NEW SCOTLAND AVE			Drive-In Branch Bank					
563	NEW SCOTLAND AVE	Undetermined		(Commercial) Office Building					
571	NEW SCOTLAND AVE			(Commercial) One Story Small Structure (Multi-Occupant)					
579	NEW SCOTLAND AVE			(Commercial) Downtown Row Type (Common Wall)					
601	NEW SCOTLAND AVE			Fast Food Franchises					
605	NEW SCOTLAND AVE			(Commercial) One Story Small Structure (Multi-Occupant)					
615	NEW SCOTLAND AVE			(Commercial) One Story Small Structure					
617	NEW SCOTLAND AVE			Vacant Land Located in Commercial Areas					
619	NEW SCOTLAND AVE			(Commercial) Parking Lot					
1	NORWOOD AVE			Two Family Year-Round Residence					
2	NORWOOD AVE			Two Family Year-Round Residence					
4	NORWOOD AVE			Two Family Year-Round Residence					
7	NORWOOD AVE			One Family Year-Round Residence					
8	NORWOOD AVE			One Family Year-Round Residence					
11	NORWOOD AVE			One Family Year-Round Residence					
12	NORWOOD AVE			Two Family Year-Round Residence					
14	NORWOOD AVE			Two Family Year-Round Residence					
15	NORWOOD AVE			One Family Year-Round Residence					
16	NORWOOD AVE			Two Family Year-Round Residence					
18	NORWOOD AVE			Two Family Year-Round Residence					
19	NORWOOD AVE			One Family Year-Round Residence					
20	NORWOOD AVE			Apartments (Commercial)					
22	NORWOOD AVE			Two Family Year-Round Residence					
27	NORWOOD AVE			One Family Year-Round Residence					
32	NORWOOD AVE			Two Family Year-Round Residence					
33	NORWOOD AVE			One Family Year-Round Residence					
35	NORWOOD AVE			One Family Year-Round Residence					
36	NORWOOD AVE			One Family Year-Round Residence					
37	NORWOOD AVE			One Family Year-Round Residence					
40	NORWOOD AVE			One Family Year-Round Residence					
41	NORWOOD AVE			One Family Year-Round Residence					
42	NORWOOD AVE			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
43	NORWOOD AVE			Two Family Year-Round Residence					
46	NORWOOD AVE			Two Family Year-Round Residence					
47	NORWOOD AVE			One Family Year-Round Residence					
48	NORWOOD AVE			One Family Year-Round Residence					
51	NORWOOD AVE			One Family Year-Round Residence					
52	NORWOOD AVE			One Family Year-Round Residence					
54	NORWOOD AVE			One Family Year-Round Residence					
56	NORWOOD AVE			One Family Year-Round Residence					
57	NORWOOD AVE			One Family Year-Round Residence					
59	NORWOOD AVE			Two Family Year-Round Residence					
60	NORWOOD AVE			Apartments (Commercial)					
63	NORWOOD AVE			One Family Year-Round Residence					
64	NORWOOD AVE			One Family Year-Round Residence					
67	NORWOOD AVE			One Family Year-Round Residence					
68	NORWOOD AVE			One Family Year-Round Residence					
69	NORWOOD AVE			One Family Year-Round Residence					
70	NORWOOD AVE			One Family Year-Round Residence					
71	NORWOOD AVE			One Family Year-Round Residence					
73	NORWOOD AVE			One Family Year-Round Residence					
1	OAKWOOD ST			Apartments (Commercial)					
3	OAKWOOD ST			One Family Year-Round Residence					
4	OAKWOOD ST			One Family Year-Round Residence					
5	OAKWOOD ST			One Family Year-Round Residence					
6	OAKWOOD ST			One Family Year-Round Residence					
7	OAKWOOD ST			One Family Year-Round Residence					
8	OAKWOOD ST			Two Family Year-Round Residence					
9	OAKWOOD ST			One Family Year-Round Residence					
10	OAKWOOD ST			Two Family Year-Round Residence					
11	OAKWOOD ST			One Family Year-Round Residence					
14	OAKWOOD ST			Two Family Year-Round Residence					
15	OAKWOOD ST			One Family Year-Round Residence					
16	OAKWOOD ST			One Family Year-Round Residence					
17	OAKWOOD ST			One Family Year-Round Residence					
18	OAKWOOD ST			One Family Year-Round Residence					
19	OAKWOOD ST			Two Family Year-Round Residence					
20	OAKWOOD ST			One Family Year-Round Residence					
21	OAKWOOD ST			One Family Year-Round Residence					
22	OAKWOOD ST			One Family Year-Round Residence					
23	OAKWOOD ST			One Family Year-Round Residence					
24	OAKWOOD ST			One Family Year-Round Residence					
25	OAKWOOD ST			Two Family Year-Round Residence					
27	OAKWOOD ST			Two Family Year-Round Residence					
28	OAKWOOD ST			Two Family Year-Round Residence					
29	OAKWOOD ST			Two Family Year-Round Residence					
31	OAKWOOD ST			Two Family Year-Round Residence					
33	OAKWOOD ST			One Family Year-Round Residence					
34	OAKWOOD ST			One Family Year-Round Residence					
35	OAKWOOD ST			One Family Year-Round Residence					
36	OAKWOOD ST			One Family Year-Round Residence					
37	OAKWOOD ST			One Family Year-Round Residence					
39	OAKWOOD ST			One Family Year-Round Residence					
40	OAKWOOD ST			One Family Year-Round Residence					
41	OAKWOOD ST			One Family Year-Round Residence					
42	OAKWOOD ST			One Family Year-Round Residence					
43	OAKWOOD ST			One Family Year-Round Residence					
44	OAKWOOD ST			One Family Year-Round Residence					
45	OAKWOOD ST			One Family Year-Round Residence					
46	OAKWOOD ST			One Family Year-Round Residence					
47	OAKWOOD ST			One Family Year-Round Residence					
48	OAKWOOD ST			One Family Year-Round Residence					
49	OAKWOOD ST			One Family Year-Round Residence					
50	OAKWOOD ST			One Family Year-Round Residence					
51	OAKWOOD ST			One Family Year-Round Residence					
52	OAKWOOD ST			One Family Year-Round Residence					
53	OAKWOOD ST			One Family Year-Round Residence					
54	OAKWOOD ST			One Family Year-Round Residence					
55	OAKWOOD ST			One Family Year-Round Residence					
57	OAKWOOD ST			One Family Year-Round Residence					
58	OAKWOOD ST			One Family Year-Round Residence					
59	OAKWOOD ST			One Family Year-Round Residence					
60	OAKWOOD ST			One Family Year-Round Residence					
61	OAKWOOD ST			One Family Year-Round Residence					
62	OAKWOOD ST			One Family Year-Round Residence					
63	OAKWOOD ST			One Family Year-Round Residence					
64	OAKWOOD ST			One Family Year-Round Residence					
65	OAKWOOD ST			One Family Year-Round Residence					
66	OAKWOOD ST			One Family Year-Round Residence					
67	OAKWOOD ST			One Family Year-Round Residence					
68	OAKWOOD ST			One Family Year-Round Residence					
69	OAKWOOD ST			One Family Year-Round Residence					
73	OAKWOOD ST			One Family Year-Round Residence					
21	ONDERDONK AVE			Residential Vacant Land					
23	ONDERDONK AVE			Residential Vacant Land					
25	ONDERDONK AVE			Residential Vacant Land					
28	ONDERDONK AVE			Residential Vacant Land					
29	ONDERDONK AVE			Two Family Year-Round Residence					
30	ONDERDONK AVE			Residential Vacant Land					
31	ONDERDONK AVE			One Family Year-Round Residence					
32	ONDERDONK AVE			Residential Vacant Land					
34	ONDERDONK AVE			Residential Vacant Land					
36	ONDERDONK AVE			Residential Vacant Land					
39	ONDERDONK AVE			Residential Vacant Land					
43	ONDERDONK AVE			Residential Vacant Land					
49	ONDERDONK AVE			One Family Year-Round Residence					
72	ONDERDONK AVE			Residential Vacant Land					
74	ONDERDONK AVE			Residential Vacant Land					
76	ONDERDONK AVE			Residential Vacant Land					
78	ONDERDONK AVE			Residential Vacant Land					
80	ONDERDONK AVE			Residential Vacant Land					
203	ONTARIO ST			Residential Vacant Land					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
205	ONTARIO ST			Apartments (Commercial)					
207	ONTARIO ST			Two Family Year-Round Residence					
209	ONTARIO ST			Two Family Year-Round Residence					
211	ONTARIO ST			Two Family Year-Round Residence					
213	ONTARIO ST			Residential Vacant Land					
221	ONTARIO ST	Eligible	Pierce Hall and Sayles Hall	Colleges and Universities					
225	ONTARIO ST			Residential Vacant Land					
236	ONTARIO ST			One Family Year-Round Residence					
238	ONTARIO ST			Three Family Year-Round Residence					
240	ONTARIO ST			One Family Year-Round Residence					
242	ONTARIO ST			Two Family Year-Round Residence					
244	ONTARIO ST			Two Family Year-Round Residence					
246	ONTARIO ST			Two Family Year-Round Residence					
252	ONTARIO ST			Residential Vacant Land					
254	ONTARIO ST			One Family Year-Round Residence					
256	ONTARIO ST			One Family Year-Round Residence					
257	ONTARIO ST			(Commercial) Downtown Row Type (Common Wall)					
258	ONTARIO ST			Two Family Year-Round Residence					
259	ONTARIO ST			One Family Year-Round Residence					
260	ONTARIO ST			Two Family Year-Round Residence					
261	ONTARIO ST			Two Family Year-Round Residence					
262	ONTARIO ST			One Family Year-Round Residence					
263	ONTARIO ST			Two Family Year-Round Residence					
264	ONTARIO ST			Two Family Year-Round Residence					
266	ONTARIO ST			Apartments (Commercial)					
267	ONTARIO ST			One Family Year-Round Residence					
271	ONTARIO ST			Two Family Year-Round Residence					
275	ONTARIO ST			Two Family Year-Round Residence					
277	ONTARIO ST			Apartments (Commercial)					
279	ONTARIO ST			Two Family Year-Round Residence					
281	ONTARIO ST			Two Family Year-Round Residence					
283	ONTARIO ST			Residential Vacant Land					
285	ONTARIO ST			Three Family Year-Round Residence					
297	ONTARIO ST			Bar					
301	ONTARIO ST			(Commercial) One Story Small Structure					
304	ONTARIO ST			Apartments (Commercial)					
306	ONTARIO ST			(Commercial) Parking Lot					
308	ONTARIO ST			Two Family Year-Round Residence					
310	ONTARIO ST			Two Family Year-Round Residence					
312	ONTARIO ST			Two Family Year-Round Residence					
313	ONTARIO ST			One Family Year-Round Residence					
314	ONTARIO ST			Two Family Year-Round Residence					
315	ONTARIO ST			Two Family Year-Round Residence					
316	ONTARIO ST			Two Family Year-Round Residence					
317	ONTARIO ST			One Family Year-Round Residence					
319	ONTARIO ST			(Commercial) One Story Small Structure (Multi-Occupant)					
323	ONTARIO ST			(Commercial) Downtown Row Type (Detached)					
324	ONTARIO ST			One Family Year-Round Residence					
325	ONTARIO ST			(Commercial) Parking Lot					
328	ONTARIO ST			One Family Year-Round Residence					
329	ONTARIO ST			(Commercial) Downtown Row Type (Detached)					
334	ONTARIO ST			Other Storage, Warehouse and Distribution Facilities					
350	ONTARIO ST			One Family Year-Round Residence					
363	ONTARIO ST			Apartments (Commercial)					
375	ONTARIO ST			Social Organizations					
395	ONTARIO ST			Two Family Year-Round Residence					
398	ONTARIO ST			One Family Year-Round Residence					
399	ONTARIO ST			Two Family Year-Round Residence					
400	ONTARIO ST			One Family Year-Round Residence					
401	ONTARIO ST			One Family Year-Round Residence					
402	ONTARIO ST			One Family Year-Round Residence					
403	ONTARIO ST			One Family Year-Round Residence					
407	ONTARIO ST			One Family Year-Round Residence					
411	ONTARIO ST			One Family Year-Round Residence					
418	ONTARIO ST			Two Family Year-Round Residence					
420	ONTARIO ST			Two Family Year-Round Residence					
425	ONTARIO ST			Apartments (Commercial)					
439	ONTARIO ST			Two Family Year-Round Residence					
441	ONTARIO ST			Two Family Year-Round Residence					
443	ONTARIO ST			Two Family Year-Round Residence					
445	ONTARIO ST			Apartments (Commercial)					
447	ONTARIO ST			Two Family Year-Round Residence					
449	ONTARIO ST			Two Family Year-Round Residence					
450	ONTARIO ST			One Family Year-Round Residence					
451	ONTARIO ST			Residential Vacant Land					
453	ONTARIO ST			One Family Year-Round Residence					
455	ONTARIO ST			Two Family Year-Round Residence					
456	ONTARIO ST			Two Family Year-Round Residence					
457	ONTARIO ST			Two Family Year-Round Residence					
458	ONTARIO ST			One Family Year-Round Residence					
459	ONTARIO ST			Two Family Year-Round Residence					
460	ONTARIO ST			Two Family Year-Round Residence					
461	ONTARIO ST			One Family Year-Round Residence					
462	ONTARIO ST			One Family Year-Round Residence					
463	ONTARIO ST			One Family Year-Round Residence					
465	ONTARIO ST			One Family Year-Round Residence					
466	ONTARIO ST			Two Family Year-Round Residence					
467	ONTARIO ST			One Family Year-Round Residence					
469	ONTARIO ST			Apartments (Commercial)					
470	ONTARIO ST			Two Family Year-Round Residence					
471	ONTARIO ST			Apartments (Commercial)					
472	ONTARIO ST			One Family Year-Round Residence					
480	ONTARIO ST			Apartments (Commercial)					
482	ONTARIO ST			(Commercial) Parking Lot					
4708	ONTARIO ST			Apartments (Commercial)					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
537	PARK AVE			Two Family Year-Round Residence					
538	PARK AVE			One Family Year-Round Residence					
540	PARK AVE			One Family Year-Round Residence					
541	PARK AVE			Two Family Year-Round Residence					
542	PARK AVE			Three Family Year-Round Residence					
545	PARK AVE			Two Family Year-Round Residence					
546	PARK AVE			Two Family Year-Round Residence					
547	PARK AVE			Two Family Year-Round Residence					
550	PARK AVE			Two Family Year-Round Residence					
554	PARK AVE			Two Family Year-Round Residence					
556	PARK AVE			Two Family Year-Round Residence					
558	PARK AVE			Two Family Year-Round Residence					
558A	PARK AVE			Residential Vacant Land					
559	PARK AVE			One Family Year-Round Residence					
560	PARK AVE			Two Family Year-Round Residence					
561	PARK AVE			Apartments (Commercial)					
562	PARK AVE			Two Family Year-Round Residence					
563	PARK AVE			Apartments (Commercial)					
564	PARK AVE			Two Family Year-Round Residence					
566	PARK AVE			Two Family Year-Round Residence					
568	PARK AVE			Two Family Year-Round Residence					
569	PARK AVE			Apartments (Commercial)					
570	PARK AVE			Two Family Year-Round Residence					
571	PARK AVE			Two Family Year-Round Residence					
572	PARK AVE			Two Family Year-Round Residence					
573	PARK AVE			One Family Year-Round Residence					
577	PARK AVE			One Family Year-Round Residence					
578	PARK AVE			Residential Vacant Land					
581	PARK AVE			One Family Year-Round Residence					
582	PARK AVE			Apartments (Commercial)					
601	PARK AVE			Two Family Year-Round Residence					
605	PARK AVE			Two Family Year-Round Residence					
608	PARK AVE			One Family Year-Round Residence					
609	PARK AVE			Two Family Year-Round Residence					
610	PARK AVE			One Family Year-Round Residence					
611	PARK AVE			Two Family Year-Round Residence					
612	PARK AVE			One Family Year-Round Residence					
614	PARK AVE			One Family Year-Round Residence					
616	PARK AVE			One Family Year-Round Residence					
617	PARK AVE			Residential Vacant Land					
618	PARK AVE			One Family Year-Round Residence					
620	PARK AVE			One Family Year-Round Residence					
621	PARK AVE			One Family Year-Round Residence					
622	PARK AVE			One Family Year-Round Residence					
625	PARK AVE			Residential Vacant Land					
626	PARK AVE			Two Family Year-Round Residence					
627	PARK AVE			One Family Year-Round Residence					
628	PARK AVE			Apartments (Commercial)					
629	PARK AVE			Apartments (Commercial)					
631	PARK AVE			Residential					
633	PARK AVE			Two Family Year-Round Residence					
635	PARK AVE			Two Family Year-Round Residence					
637	PARK AVE			Apartments (Commercial)					
638	PARK AVE			One Family Year-Round Residence					
639	PARK AVE			Apartments (Commercial)					
640	PARK AVE			One Family Year-Round Residence					
641	PARK AVE			Apartments (Commercial)					
649	PARK AVE			Two Family Year-Round Residence					
655	PARK AVE			Two Family Year-Round Residence					
657	PARK AVE			Residential Vacant Land					
659	PARK AVE			Residential Vacant Land					
661	PARK AVE			Residential Vacant Land					
665	PARK AVE			Residential Vacant Land					
667	PARK AVE			Residential Vacant Land					
669	PARK AVE			Residential					
671	PARK AVE			Residential					
673	PARK AVE			Residential Vacant Land					
675	PARK AVE			Residential Vacant Land					
677	PARK AVE			Two Family Year-Round Residence					
681	PARK AVE			One Family Year-Round Residence					
683	PARK AVE			One Family Year-Round Residence					
685	PARK AVE			Two Family Year-Round Residence					
686	PARK AVE			Two Family Year-Round Residence					
687	PARK AVE			Two Family Year-Round Residence					
689	PARK AVE			Two Family Year-Round Residence					
690	PARK AVE			One Family Year-Round Residence					
691	PARK AVE			Two Family Year-Round Residence					
694	PARK AVE			One Family Year-Round Residence					
698	PARK AVE			One Family Year-Round Residence					
702	PARK AVE	Not Eligible		One Family Year-Round Residence					
777	PARK AVE	Not Eligible		One Family Year-Round Residence					
779	PARK AVE	Not Eligible		One Family Year-Round Residence					
781	PARK AVE			Two Family Year-Round Residence					
783	PARK AVE			Two Family Year-Round Residence					
785	PARK AVE			Two Family Year-Round Residence					
789	PARK AVE			Two Family Year-Round Residence					
790	PARK AVE			One Family Year-Round Residence					
791	PARK AVE			Two Family Year-Round Residence					
792	PARK AVE			Two Family Year-Round Residence					
794	PARK AVE			One Family Year-Round Residence					
795	PARK AVE			Two Family Year-Round Residence					
798	PARK AVE			Two Family Year-Round Residence					
799	PARK AVE			Two Family Year-Round Residence					
800	PARK AVE			One Family Year-Round Residence					
801	PARK AVE			One Family Year-Round Residence					
804	PARK AVE			One Family Year-Round Residence					
806	PARK AVE			Two Family Year-Round Residence					
807	PARK AVE			Two Family Year-Round Residence					
809	PARK AVE			One Family Year-Round Residence					
810	PARK AVE			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
814	PARK AVE			Two Family Year-Round Residence					
815	PARK AVE			One Family Year-Round Residence					
816	PARK AVE			Two Family Year-Round Residence					
820	PARK AVE			One Family Year-Round Residence					
821	PARK AVE			One Family Year-Round Residence					
822	PARK AVE			One Family Year-Round Residence					
823	PARK AVE			One Family Year-Round Residence					
825	PARK AVE			One Family Year-Round Residence					
826	PARK AVE			One Family Year-Round Residence					
828	PARK AVE			One Family Year-Round Residence					
832	PARK AVE			One Family Year-Round Residence					
836	PARK AVE			One Family Year-Round Residence					
845	PARK AVE			One Family Year-Round Residence					
849	PARK AVE			One Family Year-Round Residence					
853	PARK AVE			One Family Year-Round Residence					
854	PARK AVE			One Family Year-Round Residence					
857	PARK AVE			One Family Year-Round Residence					
858	PARK AVE			One Family Year-Round Residence					
861	PARK AVE			One Family Year-Round Residence					
862	PARK AVE			One Family Year-Round Residence					
864	PARK AVE	Not Eligible		One Family Year-Round Residence					
868	PARK AVE			One Family Year-Round Residence					
878	PARK AVE			One Family Year-Round Residence					
893	PARK AVE			Two Family Year-Round Residence					
895	PARK AVE			Apartments (Commercial)					
901	PARK AVE			Apartments (Commercial)					
902	PARK AVE			Two Family Year-Round Residence					
904	PARK AVE			Two Family Year-Round Residence					
906	PARK AVE			Two Family Year-Round Residence					
908	PARK AVE			Two Family Year-Round Residence					
910	PARK AVE			Two Family Year-Round Residence					
912	PARK AVE			One Family Year-Round Residence					
914	PARK AVE			One Family Year-Round Residence					
916	PARK AVE			Two Family Year-Round Residence					
917	PARK AVE			Apartments (Commercial)					
918	PARK AVE			Two Family Year-Round Residence					
920	PARK AVE			One Family Year-Round Residence					
921	PARK AVE			Apartments (Commercial)					
1	PARKWOOD ST			Two Family Year-Round Residence					
5	PARKWOOD ST			Two Family Year-Round Residence					
7	PARKWOOD ST			Two Family Year-Round Residence					
9	PARKWOOD ST			Two Family Year-Round Residence					
11	PARKWOOD ST			Three Family Year-Round Residence					
14	PARKWOOD ST			One Family Year-Round Residence					
15	PARKWOOD ST			Two Family Year-Round Residence					
16	PARKWOOD ST			One Family Year-Round Residence					
17	PARKWOOD ST			Two Family Year-Round Residence					
19	PARKWOOD ST			Two Family Year-Round Residence					
20	PARKWOOD ST			One Family Year-Round Residence					
21	PARKWOOD ST			One Family Year-Round Residence					
22	PARKWOOD ST			One Family Year-Round Residence					
23	PARKWOOD ST			One Family Year-Round Residence					
25	PARKWOOD ST			One Family Year-Round Residence					
26	PARKWOOD ST			One Family Year-Round Residence					
27	PARKWOOD ST			One Family Year-Round Residence					
29	PARKWOOD ST			One Family Year-Round Residence					
30	PARKWOOD ST			Two Family Year-Round Residence					
31	PARKWOOD ST			Apartments (Commercial)					
34	PARKWOOD ST			One Family Year-Round Residence					
35	PARKWOOD ST			Three Family Year-Round Residence					
36	PARKWOOD ST			Apartments (Commercial)					
38	PARKWOOD ST			Two Family Year-Round Residence					
39	PARKWOOD ST			Apartments (Commercial)					
40	PARKWOOD ST			Apartments (Commercial)					
41	PARKWOOD ST			One Family Year-Round Residence					
43	PARKWOOD ST			One Family Year-Round Residence					
44	PARKWOOD ST			One Family Year-Round Residence					
45	PARKWOOD ST			Two Family Year-Round Residence					
46	PARKWOOD ST			One Family Year-Round Residence					
48	PARKWOOD ST			One Family Year-Round Residence					
50	PARKWOOD ST			One Family Year-Round Residence					
52	PARKWOOD ST			Two Family Year-Round Residence					
54	PARKWOOD ST			Apartments (Commercial)					
178	PARTRIDGE ST		Student Apartments	Apartments (Commercial)	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof. A two-story porch with a low-sloping roof is located at the north of the facade.	College of Saint Rose Potential Historic District	
186	PARTRIDGE ST	Undetermined	Student Apartments	One Family Year-Round Residence	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof. Wood modillions line the underside of the roof eaves. A full-width porch spans across the first story of the building's facade.	College of Saint Rose Potential Historic District	
188	PARTRIDGE ST	Undetermined	Student Apartments	Three Family Year-Round Residence	C	ca. 1892-1909	Two-and-one-half-story frame building with a gable-front roof. The first story has a full-width porch. The second story contains a bay window to the south and an enclosed gabled porch to the north.	College of Saint Rose Potential Historic District	
190	PARTRIDGE ST	Undetermined	Student Apartments	Two Family Year-Round Residence	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof. A full-width porch spans across the first story of the building's facade. The second story contains a gabled porch flanked by bay windows.	College of Saint Rose Potential Historic District	
192	PARTRIDGE ST	Undetermined		Vacant Land	N/C	N/A		College of Saint Rose Potential Historic District	
194	PARTRIDGE ST	Undetermined		Vacant Land	N/C	N/A		College of Saint Rose Potential Historic District	
196	PARTRIDGE ST	Undetermined		Residential Vacant Land	N/C	N/A		College of Saint Rose Potential Historic District	
197	PARTRIDGE ST			Two Family Year-Round Residence					
198	PARTRIDGE ST	Undetermined	Student Apartments	One Family Year-Round Residence	C	ca. 1892-1909	Two-and-one-half-story frame building with a full-height bay window with an octagonal roof extending above the principal roof.	College of Saint Rose Potential Historic District	
199	PARTRIDGE ST			Two Family Year-Round Residence					
200	PARTRIDGE ST	Undetermined	Unknown	Apartments (Commercial)	N/C	ca. 1892-1909	Two-and-one-half-story frame building with a side-gabled roof.	College of Saint Rose Potential Historic District	

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
201	PARTRIDGE ST			Apartments (Commercial)					
203	PARTRIDGE ST			Two Family Year-Round Residence					
204	PARTRIDGE ST	Undetermined	Residence Life	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof and full-width porch at the facade. Same building as 206 Partridge Street.	College of Saint Rose Potential Historic District	
206	PARTRIDGE ST	Undetermined	Bloom Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof and full-width porch at the facade. Same building as 204 Partridge Street.	College of Saint Rose Potential Historic District	
207	PARTRIDGE ST			Two Family Year-Round Residence					
209	PARTRIDGE ST			Two Family Year-Round Residence					
210	PARTRIDGE ST	Undetermined	Student Apartments	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a gambrel roof, the gable end fronts Partridge Street. A full-width porch extends across the facade.	College of Saint Rose Potential Historic District	
211	PARTRIDGE ST			Two Family Year-Round Residence					
212	PARTRIDGE ST	Undetermined	McCarthy Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story Prairie style building clad with stucco. The building features a full-width porch at the facade and deep eaves with groups of two and three brackets located across each elevation.	College of Saint Rose Potential Historic District	
213	PARTRIDGE ST			Three Family Year-Round Residence					
215	PARTRIDGE ST			One Family Year-Round Residence					
217	PARTRIDGE ST			One Family Year-Round Residence					
219	PARTRIDGE ST			Two Family Year-Round Residence					
221	PARTRIDGE ST			Two Family Year-Round Residence					
254	PARTRIDGE ST			Two Family Year-Round Residence					
255	PARTRIDGE ST			One Family Year-Round Residence					
256	PARTRIDGE ST			Two Family Year-Round Residence					
257	PARTRIDGE ST			One Family Year-Round Residence					
258	PARTRIDGE ST			Two Family Year-Round Residence					
259	PARTRIDGE ST			One Family Year-Round Residence					
260	PARTRIDGE ST			Two Family Year-Round Residence					
262	PARTRIDGE ST			One Family Year-Round Residence					
264	PARTRIDGE ST			One Family Year-Round Residence					
266	PARTRIDGE ST	Not Eligible		One Family Year-Round Residence					
267	PARTRIDGE ST			Two Family Year-Round Residence					
269	PARTRIDGE ST			One Family Year-Round Residence					
271	PARTRIDGE ST			One Family Year-Round Residence					
274	PARTRIDGE ST			One Family Year-Round Residence					
276	PARTRIDGE ST			One Family Year-Round Residence					
311	PARTRIDGE ST			Three Family Year-Round Residence					
313	PARTRIDGE ST			Two Family Year-Round Residence					
315	PARTRIDGE ST			One Family Year-Round Residence					
316	PARTRIDGE ST			Athletic Fields					
317	PARTRIDGE ST			Residential Vacant Land					
319	PARTRIDGE ST			One Family Year-Round Residence					
358	PARTRIDGE ST	Not Eligible		One Family Year-Round Residence					
360	PARTRIDGE ST			One Family Year-Round Residence					
361	PARTRIDGE ST			Two Family Year-Round Residence					
362	PARTRIDGE ST			One Family Year-Round Residence					
363	PARTRIDGE ST			One Family Year-Round Residence					
364	PARTRIDGE ST			One Family Year-Round Residence					
365	PARTRIDGE ST			Two Family Year-Round Residence					
366	PARTRIDGE ST			One Family Year-Round Residence					
369	PARTRIDGE ST			Apartments (Commercial)					
370	PARTRIDGE ST			One Family Year-Round Residence					
371	PARTRIDGE ST			One Family Year-Round Residence					
373	PARTRIDGE ST			One Family Year-Round Residence					
375	PARTRIDGE ST			One Family Year-Round Residence					
379	PARTRIDGE ST			One Family Year-Round Residence					
381	PARTRIDGE ST			Three Family Year-Round Residence					
383	PARTRIDGE ST			Three Family Year-Round Residence					
386	PARTRIDGE ST			One Family Year-Round Residence					
389	PARTRIDGE ST			City/Town/Village Public Parks and Recreation Areas					
390	PARTRIDGE ST			One Family Year-Round Residence					
404	PARTRIDGE ST			Religious					
407	PARTRIDGE ST			One Family Year-Round Residence					
409	PARTRIDGE ST			One Family Year-Round Residence					
411	PARTRIDGE ST			One Family Year-Round Residence					
415	PARTRIDGE ST			One Family Year-Round Residence					
419	PARTRIDGE ST			One Family Year-Round Residence					
423	PARTRIDGE ST			One Family Year-Round Residence					
425	PARTRIDGE ST			One Family Year-Round Residence					
429	PARTRIDGE ST			One Family Year-Round Residence					
432	PARTRIDGE ST			One Family Year-Round Residence					
433	PARTRIDGE ST			One Family Year-Round Residence					
435	PARTRIDGE ST			One Family Year-Round Residence					
441	PARTRIDGE ST			One Family Year-Round Residence					
443	PARTRIDGE ST			One Family Year-Round Residence					
447	PARTRIDGE ST			One Family Year-Round Residence					
2	PEYSTER ST			One Family Year-Round Residence					
4	PEYSTER ST			One Family Year-Round Residence					
5	PEYSTER ST			Two Family Year-Round Residence					
6	PEYSTER ST			One Family Year-Round Residence					
10	PEYSTER ST			Apartments (Commercial)					
15	PEYSTER ST			Three Family Year-Round Residence					
20	PEYSTER ST			One Family Year-Round Residence					
24	PEYSTER ST			One Family Year-Round Residence					
28	PEYSTER ST			Three Family Year-Round Residence					
30	PEYSTER ST			Two Family Year-Round Residence					
32	PEYSTER ST			Two Family Year-Round Residence					
36	PEYSTER ST			Two Family Year-Round Residence					
38	PEYSTER ST			Two Family Year-Round Residence					
39	PEYSTER ST			One Family Year-Round Residence					
41	PEYSTER ST			One Family Year-Round Residence					
42	PEYSTER ST			One Family Year-Round Residence					
43	PEYSTER ST			One Family Year-Round Residence					
45	PEYSTER ST			One Family Year-Round Residence					
46	PEYSTER ST			One Family Year-Round Residence					
47	PEYSTER ST			One Family Year-Round Residence					
48	PEYSTER ST			Two Family Year-Round Residence					
49	PEYSTER ST			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
51	PEYSTER ST			One Family Year-Round Residence					
52	PEYSTER ST			One Family Year-Round Residence					
53	PEYSTER ST			One Family Year-Round Residence					
54	PEYSTER ST			One Family Year-Round Residence					
55	PEYSTER ST			Two Family Year-Round Residence					
57	PEYSTER ST			Two Family Year-Round Residence					
58	PEYSTER ST			Two Family Year-Round Residence					
62	PEYSTER ST			Two Family Year-Round Residence					
DALE	PL			Residential Vacant Land					
534	PROVIDENCE ST			One Family Year-Round Residence					
536	PROVIDENCE ST			One Family Year-Round Residence					
538	PROVIDENCE ST			One Family Year-Round Residence					
540	PROVIDENCE ST			Two Family Year-Round Residence					
541	PROVIDENCE ST			One Family Year-Round Residence					
542	PROVIDENCE ST			One Family Year-Round Residence					
544	PROVIDENCE ST			Two Family Year-Round Residence					
546	PROVIDENCE ST			One Family Year-Round Residence					
549	PROVIDENCE ST			One Family Year-Round Residence					
555	PROVIDENCE ST			One Family Year-Round Residence					
559	PROVIDENCE ST			One Family Year-Round Residence					
563	PROVIDENCE ST			One Family Year-Round Residence					
564	PROVIDENCE ST			One Family Year-Round Residence					
567	PROVIDENCE ST			Two Family Year-Round Residence					
568	PROVIDENCE ST			One Family Year-Round Residence					
571	PROVIDENCE ST			One Family Year-Round Residence					
572	PROVIDENCE ST			One Family Year-Round Residence					
576	PROVIDENCE ST			Two Family Year-Round Residence					
577	PROVIDENCE ST			One Family Year-Round Residence					
579	PROVIDENCE ST			One Family Year-Round Residence					
600	PROVIDENCE ST			One Family Year-Round Residence					
603	PROVIDENCE ST			Apartments (Commercial)					
604	PROVIDENCE ST			Three Family Year-Round Residence					
607	PROVIDENCE ST			Residential Vacant Land					
610	PROVIDENCE ST			Two Family Year-Round Residence					
612	PROVIDENCE ST			Two Family Year-Round Residence					
614	PROVIDENCE ST			Two Family Year-Round Residence					
615	PROVIDENCE ST			Two Family Year-Round Residence					
616	PROVIDENCE ST			Two Family Year-Round Residence					
619	PROVIDENCE ST		Not Eligible	Two Family Year-Round Residence					
630	PROVIDENCE ST			Two Family Year-Round Residence					
631	PROVIDENCE ST			Two Family Year-Round Residence					
632	PROVIDENCE ST			Two Family Year-Round Residence					
633	PROVIDENCE ST			Two Family Year-Round Residence					
636	PROVIDENCE ST			One Family Year-Round Residence					
637	PROVIDENCE ST			Two Family Year-Round Residence					
638	PROVIDENCE ST			Two Family Year-Round Residence					
639	PROVIDENCE ST			One Family Year-Round Residence					
641	PROVIDENCE ST			One Family Year-Round Residence					
642	PROVIDENCE ST			Two Family Year-Round Residence					
643	PROVIDENCE ST			Apartments (Commercial)					
647	PROVIDENCE ST			Apartments (Commercial)					
651	PROVIDENCE ST			Apartments (Commercial)					
668	PROVIDENCE ST			One Family Year-Round Residence					
670	PROVIDENCE ST			One Family Year-Round Residence					
672	PROVIDENCE ST			One Family Year-Round Residence					
674	PROVIDENCE ST			Two Family Year-Round Residence					
676	PROVIDENCE ST			One Family Year-Round Residence					
677	PROVIDENCE ST			Three Family Year-Round Residence					
678	PROVIDENCE ST			One Family Year-Round Residence					
680	PROVIDENCE ST			One Family Year-Round Residence					
682	PROVIDENCE ST			One Family Year-Round Residence					
684	PROVIDENCE ST			One Family Year-Round Residence					
686	PROVIDENCE ST			One Family Year-Round Residence					
688	PROVIDENCE ST			One Family Year-Round Residence					
690	PROVIDENCE ST			Residential Vacant Land					
692	PROVIDENCE ST			Residential Vacant Land					
701	PROVIDENCE ST			One Family Year-Round Residence					
703	PROVIDENCE ST			One Family Year-Round Residence					
576A	PROVIDENCE ST			Residential Vacant Land					
199	QUAIL ST			Two Family Year-Round Residence					
201	QUAIL ST			Two Family Year-Round Residence					
205	QUAIL ST			Two Family Year-Round Residence					
207	QUAIL ST			Two Family Year-Round Residence					
211	QUAIL ST			Two Family Year-Round Residence					
213	QUAIL ST			(Commercial) Converted Residence					
214	QUAIL ST			Other Storage, Warehouse and Distribution Facilities					
215	QUAIL ST			Two Family Year-Round Residence					
216	QUAIL ST			Two Family Year-Round Residence					
218	QUAIL ST			Two Family Year-Round Residence					
219	QUAIL ST			Two Family Year-Round Residence					
220	QUAIL ST			(Commercial) Downtown Row Type (Detached)					
223	QUAIL ST			Two Family Year-Round Residence					
224	QUAIL ST			(Commercial) Downtown Row Type (Detached)					
226-228	QUAIL ST			Two Family Year-Round Residence					
229	QUAIL ST			(Commercial) Office Building					
230-232	QUAIL ST			Apartments (Commercial)					
233-235	QUAIL ST			Two Family Year-Round Residence					
234	QUAIL ST			Two Family Year-Round Residence					
236	QUAIL ST			Two Family Year-Round Residence					
237-239	QUAIL ST			Three Family Year-Round Residence					
238	QUAIL ST			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
240	QUAIL ST			One Family Year-Round Residence					
241-243	QUAIL ST			Two Family Year-Round Residence					
242-244	QUAIL ST			Two Family Year-Round Residence					
245	QUAIL ST	Eligible	Quail Street Apartments	(Commercial) Downtown Row Type (Common Wall)					
246	QUAIL ST			Two Family Year-Round Residence					
247	QUAIL ST			Three Family Year-Round Residence					
249	QUAIL ST	Eligible	Quail Street Apartments	(Commercial) Downtown Row Type (Common Wall)					
250	QUAIL ST			Apartments (Commercial)					
251	QUAIL ST			Three Family Year-Round Residence					
253	QUAIL ST	Eligible	Quail Street Apartments	Three Family Year-Round Residence					
254	QUAIL ST			Two Family Year-Round Residence					
255	QUAIL ST	Eligible	Quail Street Apartments	Two Family Year-Round Residence					
257	QUAIL ST	Eligible	Quail Street Apartments	One Family Year-Round Residence					
259	QUAIL ST	Eligible	Quail Street Apartments	Three Family Year-Round Residence					
261	QUAIL ST	Eligible	Quail Street Apartments	Three Family Year-Round Residence					
263	QUAIL ST	Eligible	Quail Street Apartments	(Commercial) Downtown Row Type (Common Wall)					
268	QUAIL ST			Apartments (Commercial)					
269	QUAIL ST			Two Family Year-Round Residence					
270	QUAIL ST			Two Family Year-Round Residence					
271	QUAIL ST			Apartments (Commercial)					
272	QUAIL ST			Two Family Year-Round Residence					
273	QUAIL ST			Three Family Year-Round Residence					
276	QUAIL ST			Two Family Year-Round Residence					
277	QUAIL ST			One Family Year-Round Residence					
278	QUAIL ST			Residential Vacant Land					
280	QUAIL ST			Three Family Year-Round Residence					
281	QUAIL ST			Two Family Year-Round Residence					
283	QUAIL ST			Two Family Year-Round Residence					
284	QUAIL ST			Two Family Year-Round Residence					
285-287	QUAIL ST			Apartments (Commercial)					
288	QUAIL ST			Two Family Year-Round Residence					
289	QUAIL ST			One Family Year-Round Residence					
290	QUAIL ST			(Commercial) One Story Small Structure					
293	QUAIL ST			One Family Year-Round Residence					
294	QUAIL ST			Two Family Year-Round Residence					
295	QUAIL ST			Two Family Year-Round Residence					
296	QUAIL ST			Two Family Year-Round Residence					
299	QUAIL ST			Apartments (Commercial)					
300	QUAIL ST			One Family Year-Round Residence					
301	QUAIL ST			One Family Year-Round Residence					
302	QUAIL ST			Apartments (Commercial)					
303	QUAIL ST			One Family Year-Round Residence					
305	QUAIL ST			One Family Year-Round Residence					
306	QUAIL ST			One Family Year-Round Residence					
307	QUAIL ST			One Family Year-Round Residence					
308	QUAIL ST			One Family Year-Round Residence					
309	QUAIL ST			Two Family Year-Round Residence					
310	QUAIL ST			One Family Year-Round Residence					
312	QUAIL ST			Three Family Year-Round Residence					
313	QUAIL ST			One Family Year-Round Residence					
314	QUAIL ST			Two Family Year-Round Residence					
315	QUAIL ST			One Family Year-Round Residence					
316	QUAIL ST			Two Family Year-Round Residence					
317	QUAIL ST			One Family Year-Round Residence					
318	QUAIL ST			Apartments (Commercial)					
319	QUAIL ST			One Family Year-Round Residence					
320	QUAIL ST			Two Family Year-Round Residence					
322	QUAIL ST			Two Family Year-Round Residence					
324	QUAIL ST			Two Family Year-Round Residence					
326	QUAIL ST			Two Family Year-Round Residence					
344	QUAIL ST			Three Family Year-Round Residence					
346	QUAIL ST			Two Family Year-Round Residence					
348	QUAIL ST			Two Family Year-Round Residence					
352	QUAIL ST			Two Family Year-Round Residence					
354	QUAIL ST			Two Family Year-Round Residence					
358	QUAIL ST			Two Family Year-Round Residence					
360	QUAIL ST			Two Family Year-Round Residence					
362	QUAIL ST			One Family Year-Round Residence					
363	QUAIL ST			One Family Year-Round Residence					
364	QUAIL ST			Two Family Year-Round Residence					
365	QUAIL ST			One Family Year-Round Residence					
366	QUAIL ST	Undetermined		One Family Year-Round Residence					
367	QUAIL ST			One Family Year-Round Residence					
373	QUAIL ST			One Family Year-Round Residence					
379	QUAIL ST			One Family Year-Round Residence					
380	QUAIL ST			One Family Year-Round Residence					
385	QUAIL ST			Residential Vacant Land					
386	QUAIL ST			Apartments (Commercial)					
391	QUAIL ST			One Family Year-Round Residence					
394	QUAIL ST			One Family Year-Round Residence					
395	QUAIL ST			Two Family Year-Round Residence					
396	QUAIL ST			Two Family Year-Round Residence					
397	QUAIL ST			Residential Vacant Land					
399	QUAIL ST			One Family Year-Round Residence					
400	QUAIL ST			(Commercial) Parking Lot					
405	QUAIL ST	Listed on SR, NF	First Congregational Church	Religious					
419	QUAIL ST			Two Family Year-Round Residence					
423	QUAIL ST			(Commercial) One Story Small Structure (Multi-Occupant)					
8	RIDGEFIELD ST			One Family Year-Round Residence					
10	RIDGEFIELD ST			One Family Year-Round Residence					
12	RIDGEFIELD ST			One Family Year-Round Residence					
14	RIDGEFIELD ST			One Family Year-Round Residence					
16	RIDGEFIELD ST			One Family Year-Round Residence					
18	RIDGEFIELD ST			One Family Year-Round Residence					
20	RIDGEFIELD ST			One Family Year-Round Residence					
22	RIDGEFIELD ST			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
24	RIDGEFIELD ST			One Family Year-Round Residence					
173	RIDGEFIELD ST			One Family Year-Round Residence					
176	RIDGEFIELD ST			One Family Year-Round Residence					
177	RIDGEFIELD ST			One Family Year-Round Residence					
178	RIDGEFIELD ST			One Family Year-Round Residence					
181	RIDGEFIELD ST			One Family Year-Round Residence					
185	RIDGEFIELD ST			One Family Year-Round Residence					
189	RIDGEFIELD ST			Two Family Year-Round Residence					
193	RIDGEFIELD ST			Two Family Year-Round Residence					
197	RIDGEFIELD ST			One Family Year-Round Residence					
201	RIDGEFIELD ST			One Family Year-Round Residence					
205	RIDGEFIELD ST			One Family Year-Round Residence					
211	RIDGEFIELD ST			One Family Year-Round Residence					
228	RIDGEFIELD ST			One Family Year-Round Residence					
232	RIDGEFIELD ST			One Family Year-Round Residence					
236	RIDGEFIELD ST			One Family Year-Round Residence					
242	RIDGEFIELD ST			One Family Year-Round Residence					
250	RIDGEFIELD ST			One Family Year-Round Residence					
252	RIDGEFIELD ST			Residential Vacant Land					
4	RYCKMAN AVE			One Family Year-Round Residence					
8	RYCKMAN AVE			Apartments (Commercial)					
16	RYCKMAN AVE			Apartments (Commercial)					
32	RYCKMAN AVE			One Family Year-Round Residence					
36	RYCKMAN AVE			One Family Year-Round Residence					
39	RYCKMAN AVE			One Family Year-Round Residence					
40	RYCKMAN AVE			One Family Year-Round Residence					
41	RYCKMAN AVE			One Family Year-Round Residence					
43	RYCKMAN AVE			One Family Year-Round Residence					
44	RYCKMAN AVE			One Family Year-Round Residence					
45	RYCKMAN AVE			One Family Year-Round Residence					
48	RYCKMAN AVE			One Family Year-Round Residence					
52	RYCKMAN AVE			One Family Year-Round Residence					
54	RYCKMAN AVE			One Family Year-Round Residence					
55	RYCKMAN AVE			Two Family Year-Round Residence					
57	RYCKMAN AVE			Two Family Year-Round Residence					
58	RYCKMAN AVE			One Family Year-Round Residence					
60	RYCKMAN AVE			One Family Year-Round Residence					
61	RYCKMAN AVE			One Family Year-Round Residence					
64	RYCKMAN AVE			One Family Year-Round Residence					
66	RYCKMAN AVE			One Family Year-Round Residence					
67	RYCKMAN AVE			One Family Year-Round Residence					
69	RYCKMAN AVE			Two Family Year-Round Residence					
70	RYCKMAN AVE			One Family Year-Round Residence					
71	RYCKMAN AVE			Two Family Year-Round Residence					
73	RYCKMAN AVE			Two Family Year-Round Residence					
77	RYCKMAN AVE			One Family Year-Round Residence					
79	RYCKMAN AVE	Not Eligible		One Family Year-Round Residence					
80	RYCKMAN AVE			One Family Year-Round Residence					
83	RYCKMAN AVE			One Family Year-Round Residence					
84	RYCKMAN AVE			Two Family Year-Round Residence					
87	RYCKMAN AVE			Two Family Year-Round Residence					
89	RYCKMAN AVE			Two Family Year-Round Residence					
93	RYCKMAN AVE			Two Family Year-Round Residence					
97	RYCKMAN AVE			Apartments (Commercial)					
100	RYCKMAN AVE			Apartments (Commercial)					
104	RYCKMAN AVE			One Family Year-Round Residence					
114	RYCKMAN AVE			Two Family Year-Round Residence					
115	RYCKMAN AVE			Apartments (Commercial)					
119	RYCKMAN AVE			Apartments (Commercial)					
123	RYCKMAN AVE			Apartments (Commercial)					
127	RYCKMAN AVE			Apartments (Commercial)					
131	RYCKMAN AVE			Apartments (Commercial)					
1A	S ALLEN ST			Three Family Year-Round Residence					
3	S ALLEN ST			Two Family Year-Round Residence					
5	S ALLEN ST			(Commercial) Office Building					
8	S ALLEN ST			Apartments (Commercial)					
20	S ALLEN ST			Apartments (Commercial)					
24	S ALLEN ST			Three Family Year-Round Residence					
28	S ALLEN ST			Apartments (Commercial)					
29	S ALLEN ST			Social Organizations					
32	S ALLEN ST			Two Family Year-Round Residence					
36	S ALLEN ST			Two Family Year-Round Residence					
40	S ALLEN ST			Two Family Year-Round Residence					
43	S ALLEN ST			Two Family Year-Round Residence					
44	S ALLEN ST			Apartments (Commercial)					
45	S ALLEN ST			Two Family Year-Round Residence					
47	S ALLEN ST			Two Family Year-Round Residence					
49	S ALLEN ST			One Family Year-Round Residence					
51	S ALLEN ST			Three Family Year-Round Residence					
52	S ALLEN ST			One Family Year-Round Residence					
61	S ALLEN ST			Apartments (Commercial)					
62	S ALLEN ST			Apartments (Commercial)					
63	S ALLEN ST			Three Family Year-Round Residence					
64	S ALLEN ST			Three Family Year-Round Residence					
65	S ALLEN ST			Two Family Year-Round Residence					
67	S ALLEN ST			Two Family Year-Round Residence					
68	S ALLEN ST			Two Family Year-Round Residence					
68	S ALLEN ST (REAR)			Residential Vacant Land					
69	S ALLEN ST			Two Family Year-Round Residence					
70	S ALLEN ST			One Family Year-Round Residence					
72	S ALLEN ST			Two Family Year-Round Residence					
74	S ALLEN ST			One Family Year-Round Residence					
77	S ALLEN ST			Apartments (Commercial)					
80	S ALLEN ST			One Family Year-Round Residence					
91	S ALLEN ST			One Family Year-Round Residence					
86	S ALLEN ST			Residential Vacant Land					
87	S ALLEN ST			Two Family Year-Round Residence					
88	S ALLEN ST			Apartments (Commercial)					
91	S ALLEN ST			Two Family Year-Round Residence					
95	S ALLEN ST			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
98	S ALLEN ST			Residential Vacant Land					
99	S ALLEN ST			Two Family Year-Round Residence					
100	S ALLEN ST			One Family Year-Round Residence					
102	S ALLEN ST			Three Family Year-Round Residence					
104	S ALLEN ST			Two Family Year-Round Residence					
106	S ALLEN ST			One Family Year-Round Residence					
107	S ALLEN ST			One Family Year-Round Residence					
111	S ALLEN ST			One Family Year-Round Residence					
112	S ALLEN ST			Three Family Year-Round Residence					
115	S ALLEN ST			One Family Year-Round Residence					
116	S ALLEN ST			Three Family Year-Round Residence					
117	S ALLEN ST			One Family Year-Round Residence					
122	S ALLEN ST			Apartments (Commercial)					
123	S ALLEN ST			One Family Year-Round Residence					
126	S ALLEN ST			One Family Year-Round Residence					
132	S ALLEN ST			One Family Year-Round Residence					
133	S ALLEN ST			One Family Year-Round Residence					
136	S ALLEN ST			One Family Year-Round Residence					
137	S ALLEN ST			Apartments (Commercial)					
140	S ALLEN ST			One Family Year-Round Residence					
141	S ALLEN ST			Apartments (Commercial)					
144	S ALLEN ST			One Family Year-Round Residence					
148	S ALLEN ST			One Family Year-Round Residence					
151	S ALLEN ST			Residential (Multi-Purpose / Multi-Structure)					
152	S ALLEN ST			Two Family Year-Round Residence					
156	S ALLEN ST			Two Family Year-Round Residence					
157	S ALLEN ST			One Family Year-Round Residence					
159	S ALLEN ST			Two Family Year-Round Residence					
160	S ALLEN ST			One Family Year-Round Residence					
162	S ALLEN ST			Two Family Year-Round Residence					
163	S ALLEN ST			Two Family Year-Round Residence					
164	S ALLEN ST			Two Family Year-Round Residence					
167	S ALLEN ST			Apartments (Commercial)					
168	S ALLEN ST			Religious					
169	S ALLEN ST			Apartments (Commercial)					
173	S ALLEN ST			Apartments (Commercial)					
177	S ALLEN ST			Apartments (Commercial)					
186	S ALLEN ST			One Family Year-Round Residence					
187	S ALLEN ST			Apartments (Commercial)					
189	S ALLEN ST			Two Family Year-Round Residence					
192	S ALLEN ST			Apartments (Commercial)					
199	S ALLEN ST			Apartments (Commercial)					
202-204	S ALLEN ST			Apartments (Commercial)					
203	S ALLEN ST			Apartments (Commercial)					
205	S ALLEN ST			Apartments (Commercial)					
210	S ALLEN ST			Apartments (Commercial)					
211	S ALLEN ST			One Family Year-Round Residence					
212	S ALLEN ST			One Family Year-Round Residence					
217	S ALLEN ST	Not Eligible		One Family Year-Round Residence					
218	S ALLEN ST			One Family Year-Round Residence					
221	S ALLEN ST			One Family Year-Round Residence					
224	S ALLEN ST			Two Family Year-Round Residence					
225	S ALLEN ST			Three Family Year-Round Residence					
226	S ALLEN ST			One Family Year-Round Residence					
234	S ALLEN ST			Apartments (Commercial)					
241-243	S ALLEN ST			Apartments (Commercial)					
244	S ALLEN ST			Two Family Year-Round Residence					
248	S ALLEN ST			One Family Year-Round Residence					
252	S ALLEN ST			One Family Year-Round Residence					
256	S ALLEN ST			Two Family Year-Round Residence					
258	S ALLEN ST			Two Family Year-Round Residence					
260	S ALLEN ST			One Family Year-Round Residence					
261	S ALLEN ST			Two Family Year-Round Residence					
264	S ALLEN ST			Apartments (Commercial)					
265	S ALLEN ST			Apartments (Commercial)	C	ca.1935-1952	Two-story over basement brick building with a symmetrical facade featuring a gabled portico over the entrance. The door surround consists of a multi-light door flanked by multi-light sidelights and an arched transom above. The facade and side elevations feature patterns created through the use of different colored brick.	Patterned Brick Apartments Potential Historic District	
274	S ALLEN ST			Apartments (Commercial)					
276	S ALLEN ST			One Family Year-Round Residence					
277	S ALLEN ST			Apartments (Commercial)	C	ca.1935-1952	Two, two-story over basement brick buildings each with a symmetrical facade featuring a gabled portico over the entrance. The door surrounds consist of a multi-light door flanked by multi-light sidelights and an arched transom above. The facades (and north elevation of the northern most apartment) feature patterns created through the use of different colored brick.	Patterned Brick Apartments Potential Historic District	
285	S ALLEN ST			One Family Year-Round Residence					
286	S ALLEN ST			Apartments (Commercial)					
288	S ALLEN ST			One Family Year-Round Residence					
289	S ALLEN ST			One Family Year-Round Residence					
295	S ALLEN ST			Two Family Year-Round Residence					
298	S ALLEN ST			One Family Year-Round Residence					
299	S ALLEN ST	Not Eligible		(Commercial) Office Building					
306	S ALLEN ST			One Family Year-Round Residence					
310	S ALLEN ST			One Family Year-Round Residence					
312	S ALLEN ST			One Family Year-Round Residence					
313	S ALLEN ST	Undetermined		Two Family Year-Round Residence					
314	S ALLEN ST			One Family Year-Round Residence					
316	S ALLEN ST			One Family Year-Round Residence					
318	S ALLEN ST			One Family Year-Round Residence					
320	S ALLEN ST			One Family Year-Round Residence					
322	S ALLEN ST			Two Family Year-Round Residence					
2	S MAIN AVE			One Family Year-Round Residence					
2A	S MAIN AVE			One Family Year-Round Residence					
3	S MAIN AVE			Three Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
4	S MAIN AVE			Two Family Year-Round Residence					
6	S MAIN AVE			Two Family Year-Round Residence					
7	S MAIN AVE			Two Family Year-Round Residence					
8	S MAIN AVE			One Family Year-Round Residence					
9	S MAIN AVE			One Family Year-Round Residence					
10	S MAIN AVE			Two Family Year-Round Residence					
12	S MAIN AVE			Two Family Year-Round Residence					
15	S MAIN AVE			One Family Year-Round Residence					
19	S MAIN AVE			Two Family Year-Round Residence					
22	S MAIN AVE			Three Family Year-Round Residence					
23	S MAIN AVE			Apartments (Commercial)					
24	S MAIN AVE			Two Family Year-Round Residence					
25	S MAIN AVE			Apartments (Commercial)					
26	S MAIN AVE			One Family Year-Round Residence					
30	S MAIN AVE			Apartments (Commercial)					
31	S MAIN AVE			Apartments (Commercial)					
35	S MAIN AVE			Three Family Year-Round Residence					
36	S MAIN AVE			Apartments (Commercial)					
38	S MAIN AVE			Apartments (Commercial)					
39	S MAIN AVE			Two Family Year-Round Residence					
41	S MAIN AVE			Apartments (Commercial)					
42	S MAIN AVE			One Family Year-Round Residence					
43	S MAIN AVE			Apartments (Commercial)					
44	S MAIN AVE			One Family Year-Round Residence					
45	S MAIN AVE			One Family Year-Round Residence					
46	S MAIN AVE			Two Family Year-Round Residence					
48	S MAIN AVE			One Family Year-Round Residence					
49	S MAIN AVE			One Family Year-Round Residence					
50	S MAIN AVE			One Family Year-Round Residence					
51	S MAIN AVE			Two Family Year-Round Residence					
52	S MAIN AVE			One Family Year-Round Residence					
53	S MAIN AVE			One Family Year-Round Residence					
54	S MAIN AVE			Apartments (Commercial)					
56	S MAIN AVE			Apartments (Commercial)					
57	S MAIN AVE			Two Family Year-Round Residence					
58	S MAIN AVE			Apartments (Commercial)					
59	S MAIN AVE			Two Family Year-Round Residence					
60	S MAIN AVE			Two Family Year-Round Residence					
61	S MAIN AVE			One Family Year-Round Residence					
62	S MAIN AVE			Two Family Year-Round Residence					
63	S MAIN AVE			One Family Year-Round Residence					
64	S MAIN AVE			Two Family Year-Round Residence					
66	S MAIN AVE			Two Family Year-Round Residence					
67	S MAIN AVE			Two Family Year-Round Residence					
68	S MAIN AVE			Two Family Year-Round Residence					
81	S MAIN AVE			One Family Year-Round Residence					
83	S MAIN AVE			One Family Year-Round Residence					
87	S MAIN AVE			Two Family Year-Round Residence					
91	S MAIN AVE			Two Family Year-Round Residence					
93	S MAIN AVE	Not Eligible		Two Family Year-Round Residence					
95	S MAIN AVE			Two Family Year-Round Residence					
96	S MAIN AVE			Two Family Year-Round Residence					
100	S MAIN AVE			Two Family Year-Round Residence					
101	S MAIN AVE			One Family Year-Round Residence					
104	S MAIN AVE			Two Family Year-Round Residence					
105	S MAIN AVE			Two Family Year-Round Residence					
107	S MAIN AVE			Residential Vacant Land					
110	S MAIN AVE			One Family Year-Round Residence					
111	S MAIN AVE			Two Family Year-Round Residence					
114	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style brick bungalow building with a gable-front projection at the facade and a recessed entrance block with a side-gabled roof. The roof is clad with Spanish tiles.	Winchester Gables Potential Historic District	
115	S MAIN AVE			Two Family Year-Round Residence					
117	S MAIN AVE			Two Family Year-Round Residence					
121	S MAIN AVE			One Family Year-Round Residence					
122	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style brick bungalow building with a gable-front projection at the facade consisting of a recessed porch with arched openings. The roof is clad with Spanish tiles.	Winchester Gables Potential Historic District	
123	S MAIN AVE			Apartments (Commercial)					
125	S MAIN AVE			Two Family Year-Round Residence					
127	S MAIN AVE			Two Family Year-Round Residence					
129	S MAIN AVE			Two Family Year-Round Residence					
130	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style brick bungalow building oriented toward the intersection of S. Main and Woodlawn Avenues. The entrance block consists of an octagonal tower flanked by a gable-front block and a rectangular block with a low-sloping roof. The gabled portions of the roof are clad with Spanish tiles.	Winchester Gables Potential Historic District	
131	S MAIN AVE			Two Family Year-Round Residence					
133	S MAIN AVE			Two Family Year-Round Residence					
140	S MAIN AVE			One Family Year-Round Residence					
141	S MAIN AVE			One Family Year-Round Residence					
144	S MAIN AVE			One Family Year-Round Residence					
149	S MAIN AVE			One Family Year-Round Residence					
150	S MAIN AVE			One Family Year-Round Residence					
153	S MAIN AVE			Residential Vacant Land					
158	S MAIN AVE			One Family Year-Round Residence					
160	S MAIN AVE			Residential Vacant Land					
165	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	One-and-one-half-story bungalow with a side gable roof clad with asphalt shingles and featuring dormer windows. A full-width porch at the facade is covered by the principal roof and supported by round columns. The building is clad with wood shingles.	Helderberg Heights Potential Historic District	
167	S MAIN AVE			One Family Year-Round Residence	C	ca. 1936	Two-story frame building with a side-gabled roof with a brick end chimney. The building has a symmetrical facade.	Helderberg Heights Potential Historic District	
168	S MAIN AVE			One Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
169	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story building with a slate-clad gable-front roof. The facade features a brick chimney and a one-story projecting entrance block with a hipped roof and gable-front portico. The building is clad with wood shingles.	Helderberg Heights Potential Historic District	
173	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story brick building with an asphalt-clad side-gabled roof with a dormer. The entrance porch is covered by the principal roof and is supported by round columns.	Helderberg Heights Potential Historic District	
176	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof. The building has a one-story side ell with a side-gabled roof. The facade features a projecting gable-front volume containing the primary entrance.	Winchester Villas Potential Historic District/Helderberg Heights Potential Historic District	
180	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad front-gabled roof and a one-story gable-front projecting block at the facade, containing the primary entrance. The facade of the main block features a brick chimney.	Winchester Villas Potential Historic District/Helderberg Heights Potential Historic District	
181	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story building with an asphalt-clad roof with clipped gable ends. The roof features a full-width dormer at the facade. The building has a symmetrical facade and a two-story side ell at the south elevation.	Helderberg Heights Potential Historic District	
184	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate roof and full-width dormer in the second story. This is the only building in the Winchester Villas development that exhibits no characteristics of the Tudor Revival style.	Winchester Villas Potential Historic District/Helderberg Heights Potential Historic District	
186	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a dominant gable-front roof capped by a hip and fronted by a front-facing gable volume extended forward from the main block which contains the primary entrance.	Winchester Villas Potential Historic District/Helderberg Heights Potential Historic District	
187	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof. The building has a symmetrical facade and a one-story side ell with a gabled roof appended to the south elevation.	Helderberg Heights Potential Historic District	
190	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a prominent gable-front volume, side-gabled volume with clipped gable ends, and a one-story gable front projection at the facade.	Winchester Villas Potential Historic District/Helderberg Heights Potential Historic District	
191	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story building with an asphalt-clad gable-front roof. The building features a one-story ell appended to the south elevation.	Helderberg Heights Potential Historic District	
194	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a dominant gable-front roof capped by a hip and fronted by a front-facing gable volume extended forward from the main block which contains the primary entrance.	Winchester Villas Potential Historic District/Helderberg Heights Potential Historic District	
195	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story building with a brick first story and a side-gabled roof clad with asphalt shingles.	Helderberg Heights Potential Historic District	
197	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story building with an asphalt-clad hipped roof with a brick chimney. The building's massing and roof form are features commonly found in Prairie style dwellings. The eaves feature exposed rafters tails.	Helderberg Heights Potential Historic District	
200	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a side-gabled roof clad with asphalt shingles. The symmetrical facade has an applied stone veneer. A one-story volume is appended to the north elevation.	Helderberg Heights Potential Historic District	
203	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story building with an asphalt-clad cross-gabled roof with the gable-front volume at the facade. The facade features a brick chimney.	Helderberg Heights Potential Historic District	
207	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story frame building with an asphalt-clad side-gabled roof. The building has a symmetrical facade and a one-story shed roof side ell at the north elevation.	Helderberg Heights Potential Historic District	
208	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a side-gabled roof clad with asphalt shingles. The facade features a one-story projecting gable-front volume with the primary entrance and a brick chimney. A one-story side-gabled ell is appended to the north elevation.	Helderberg Heights Potential Historic District	
210	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a cross-gambrel roof featuring a shed dormer and prominent gable-front projection at the facade.	Helderberg Heights Potential Historic District	
214	S MAIN AVE			Residential Vacant Land	N/C	ca. 1935		Helderberg Heights Potential Historic District	
215	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	One-and-one-half-story bungalow with a side gable roof clad with asphalt shingles and featuring dormer windows. The first story is brick. A full-width porch at the facade is covered by the principal roof and supported by round columns.	Helderberg Heights Potential Historic District	
219	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story building with a side-gabled roof clad with asphalt shingles and two gable-front projections at the facade. The entrance block is brick and features an oriel window in the second story. The other volumes feature false half-timbering.	Helderberg Heights Potential Historic District	
220	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof. The building has an asymmetrical facade with the second story slightly cantilevered over the first story at the facade.	Helderberg Heights Potential Historic District	
221	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	The building is oriented on an east-west axis and therefore faces Harvard Avenue. The building is two stories in height and has a slate-clad side-gabled roof with a central gable-front projection at the facade. The building features false half-timbering.	Helderberg Heights Potential Historic District	
224	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof. The building has a symmetrical facade and a one-story side ell at the north elevation.	Helderberg Heights Potential Historic District	
227	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate-clad side-gabled roof and two gable-front projections at the facade. The building is clad with stucco and features some false half-timbering at one of the projections. A one-story side ell with a shed roof is appended to the south elevation.	Helderberg Heights Potential Historic District	
228	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt shingle-clad gambrel roof. The building has a symmetrical facade and a one-story side ell at the north elevation.	Helderberg Heights Potential Historic District	
233	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	One-story frame building with a slate-clad side-gabled roof with two gable-front projections at the facade. A shed roof volume with an asphalt-clad roof was constructed between these two projections.	Helderberg Heights Potential Historic District	

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
234	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof. The building has a symmetrical facade and a one-story side ell at the north elevation.	Helderberg Heights Potential Historic District	
239	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story house with an asphalt-clad hipped roof with a brick chimney. The first story of the building is clad with brick and the second story with siding. The building's massing and roof form are elements found in Prairie style residential buildings.	Helderberg Heights Potential Historic District	
240	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate-clad side-gabled roof with a full-width dormer. The building has a symmetrical facade and is clad with wood shingles.	Helderberg Heights Potential Historic District	
243	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof with clipped gable ends and a two-story side ell at the north elevation.	Helderberg Heights Potential Historic District	
244	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate-clad side-gabled roof with a full-width dormer. The building has a symmetrical facade and a one-story side ell.	Helderberg Heights Potential Historic District	
245	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story building with a side-gable roof with a gable front projection at the facade. Two dormers flank the projecting entry block. The entrance block features false half-timbering in the second story and brick in the first story. The various roofs are clad with slate and the building with stucco and false half-timbering. A one-story side ell is appended to the south elevation.	Helderberg Heights Potential Historic District	
246	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with an asphalt-clad side-gabled roof. The building has a symmetrical facade and a two-story side ell with a hipped roof at the north elevation.	Helderberg Heights Potential Historic District	
247	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate-clad side-gabled roof. The building has a symmetrical facade and a one-story side ell at the south elevation.	Helderberg Heights Potential Historic District	
249	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story building with a gable-front roof clad with slate. A two-story side ell with a side gable roof is appended to the south elevation. A brick chimney is located to the south of the main block. The building features false half-timbering at the facade of the main block with brick detailing around the entrance.	Helderberg Heights Potential Historic District	
251	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a cross-gable roof clad with slate. The building is clad with wood shingles.	Helderberg Heights Potential Historic District	
252	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a gable roof clad with asphalt shingles featuring a full-width dormer. The building has an asymmetrical facade.	Helderberg Heights Potential Historic District	
253	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-and-one-half-story frame building with a gable-front roof with a full-length dormer on each roof slope. The facade features a one-story projecting gable-front entrance and a bay window. A one-story side ell is appended to the north and south elevations and a two-story side-gable volume is visible at the north elevation.	Helderberg Heights Potential Historic District	
260	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate-clad side-gabled roof. The building has a symmetrical facade and a one-story side ell at the east elevation and a one-story attached garage at the north elevation.	Helderberg Heights Potential Historic District	
262	S MAIN AVE			One Family Year-Round Residence	C	ca. 1935	Two-story frame building with a slate-clad side-gabled roof. The building has a symmetrical facade and a two-story side ell at the south elevation and a one-story attached garage at the north elevation.	Helderberg Heights Potential Historic District	
1	S PINE AVE			(Commercial) Converted Residence					
2	S PINE AVE			One Family Year-Round Residence					
5	S PINE AVE			Apartments (Commercial)					
8	S PINE AVE			One Family Year-Round Residence					
11	S PINE AVE			One Family Year-Round Residence					
14	S PINE AVE			One Family Year-Round Residence					
15	S PINE AVE			One Family Year-Round Residence					
19	S PINE AVE			One Family Year-Round Residence					
20	S PINE AVE			Two Family Year-Round Residence					
22	S PINE AVE			Three Family Year-Round Residence					
23	S PINE AVE			One Family Year-Round Residence					
24	S PINE AVE			One Family Year-Round Residence					
27	S PINE AVE			One Family Year-Round Residence					
28	S PINE AVE			Two Family Year-Round Residence					
29	S PINE AVE	Undetermined		One Family Year-Round Residence					
32	S PINE AVE			One Family Year-Round Residence					
33	S PINE AVE			Apartments (Commercial)					
35	S PINE AVE			One Family Year-Round Residence					
36	S PINE AVE			One Family Year-Round Residence					
37	S PINE AVE			One Family Year-Round Residence					
38	S PINE AVE			One Family Year-Round Residence					
40	S PINE AVE			One Family Year-Round Residence					
41	S PINE AVE			One Family Year-Round Residence					
42	S PINE AVE			One Family Year-Round Residence					
44	S PINE AVE			One Family Year-Round Residence					
45	S PINE AVE			Two Family Year-Round Residence					
47	S PINE AVE			One Family Year-Round Residence					
51	S PINE AVE			One Family Year-Round Residence					
53	S PINE AVE			Two Family Year-Round Residence					
54	S PINE AVE			One Family Year-Round Residence					
55	S PINE AVE			Two Family Year-Round Residence					
56	S PINE AVE			One Family Year-Round Residence					
57	S PINE AVE			Two Family Year-Round Residence					
59	S PINE AVE			Two Family Year-Round Residence					
60	S PINE AVE			One Family Year-Round Residence					
61	S PINE AVE			Two Family Year-Round Residence					
64	S PINE AVE			One Family Year-Round Residence					
65	S PINE AVE			Three Family Year-Round Residence					
67	S PINE AVE			Three Family Year-Round Residence					
69	S PINE AVE			Two Family Year-Round Residence					
73	S PINE AVE			Two Family Year-Round Residence					
75	S PINE AVE			Two Family Year-Round Residence					
77	S PINE AVE			Two Family Year-Round Residence					
78	S PINE AVE			Two Family Year-Round Residence					
79	S PINE AVE			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
80	S PINE AVE			Two Family Year-Round Residence					
81	S PINE AVE			Two Family Year-Round Residence					
82	S PINE AVE			Two Family Year-Round Residence					
83	S PINE AVE			Two Family Year-Round Residence					
84	S PINE AVE			Two Family Year-Round Residence					
85	S PINE AVE			Two Family Year-Round Residence					
86	S PINE AVE			Two Family Year-Round Residence					
87	S PINE AVE			Two Family Year-Round Residence					
88	S PINE AVE			Two Family Year-Round Residence					
89	S PINE AVE			Two Family Year-Round Residence					
90	S PINE AVE			Apartments (Commercial)					
92	S PINE AVE			One Family Year-Round Residence					
94	S PINE AVE			One Family Year-Round Residence					
97	S PINE AVE			Two Family Year-Round Residence					
98	S PINE AVE			One Family Year-Round Residence					
101	S PINE AVE			Apartments (Commercial)					
102	S PINE AVE			One Family Year-Round Residence					
103	S PINE AVE			Two Family Year-Round Residence					
107	S PINE AVE			One Family Year-Round Residence					
107A	S PINE AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
111	S PINE AVE			One Family Year-Round Residence					
114	S PINE AVE			One Family Year-Round Residence					
116	S PINE AVE			One Family Year-Round Residence					
117	S PINE AVE			One Family Year-Round Residence					
118	S PINE AVE			One Family Year-Round Residence					
120	S PINE AVE			One Family Year-Round Residence					
122	S PINE AVE			One Family Year-Round Residence					
123	S PINE AVE			One Family Year-Round Residence					
124	S PINE AVE			One Family Year-Round Residence					
125	S PINE AVE			One Family Year-Round Residence					
126	S PINE AVE			One Family Year-Round Residence					
127	S PINE AVE			One Family Year-Round Residence					
128	S PINE AVE			One Family Year-Round Residence					
130	S PINE AVE			Residential Vacant Land					
132	S PINE AVE			One Family Year-Round Residence					
141	S PINE AVE			One Family Year-Round Residence					
145	S PINE AVE			One Family Year-Round Residence					
147	S PINE AVE			One Family Year-Round Residence					
150	S PINE AVE			One Family Year-Round Residence					
155	S PINE AVE			One Family Year-Round Residence					
158	S PINE AVE			One Family Year-Round Residence					
159	S PINE AVE			One Family Year-Round Residence					
160	S PINE AVE	Not Eligible		One Family Year-Round Residence					
161	S PINE AVE			One Family Year-Round Residence					
161A	S PINE AVE			One Family Year-Round Residence					
162	S PINE AVE			One Family Year-Round Residence					
163	S PINE AVE			One Family Year-Round Residence					
164	S PINE AVE			Residential Vacant Land					
164A	S PINE AVE			Residential Vacant Land					
165	S PINE AVE			One Family Year-Round Residence					
166	S PINE AVE			Residential Vacant Land					
167	S PINE AVE			Residential Vacant Land					
167A	S PINE AVE			Residential Vacant Land					
168	S PINE AVE			One Family Year-Round Residence					
169	S PINE AVE			One Family Year-Round Residence					
171	S PINE AVE			One Family Year-Round Residence					
172	S PINE AVE			One Family Year-Round Residence					
173	S PINE AVE	Not Eligible		One Family Year-Round Residence					
174	S PINE AVE			One Family Year-Round Residence					
175	S PINE AVE			One Family Year-Round Residence					
177	S PINE AVE			Two Family Year-Round Residence					
180	S PINE AVE			One Family Year-Round Residence					
182	S PINE AVE			One Family Year-Round Residence					
187	S PINE AVE			Two Family Year-Round Residence					
189	S PINE AVE			Two Family Year-Round Residence					
190	S PINE AVE			Two Family Year-Round Residence					
192	S PINE AVE			One Family Year-Round Residence					
193	S PINE AVE			Residential Vacant Land					
195	S PINE AVE			Residential Vacant Land					
197	S PINE AVE			Residential Vacant Land					
199	S PINE AVE			Residential Vacant Land					
201	S PINE AVE			Residential Vacant Land					
203	S PINE AVE			Residential Vacant Land					
205	S PINE AVE			Residential Vacant Land					
402	SPRING ST			Residential Vacant Land					
403	SPRING ST			Apartments (Commercial)					
405	SPRING ST			Apartments (Commercial)					
406	SPRING ST			One Family Year-Round Residence					
407	SPRING ST			Apartments (Commercial)					
408	SPRING ST			Apartments (Commercial)					
410	SPRING ST			Residential Land Including a Small Improvement (not used for living accommodations)					
422	SPRING ST			Two Family Year-Round Residence					
442	SPRING ST			Three Family Year-Round Residence					
750	STATE ST	Eligible	Brubacher Hall	Colleges and Universities					
943	STATE ST			One Family Year-Round Residence					
945	STATE ST			Residential Vacant Land					
947	STATE ST			One Family Year-Round Residence					
950	STATE ST			One Family Year-Round Residence					
951	STATE ST			Two Family Year-Round Residence					
953	STATE ST			Residential Vacant Land					
956	STATE ST			One Family Year-Round Residence					
957	STATE ST			One Family Year-Round Residence					
960	STATE ST			One Family Year-Round Residence					
961	STATE ST			One Family Year-Round Residence					
963	STATE ST			One Family Year-Round Residence					
966	STATE ST			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
980	STATE ST			Two Family Year-Round Residence					
984	STATE ST			One Family Year-Round Residence					
987	STATE ST			Two Family Year-Round Residence					
995	STATE ST			(Commercial) Office Building					
996	STATE ST			Two Family Year-Round Residence					
998	STATE ST			Two Family Year-Round Residence					
999	STATE ST			(Commercial) Parking Lot					
1000	STATE ST			Two Family Year-Round Residence					
1102	STATE ST			Two Family Year-Round Residence					
1104	STATE ST			Two Family Year-Round Residence					
1106	STATE ST			Three Family Year-Round Residence					
1108	STATE ST			One Family Year-Round Residence					
1111	STATE ST			Two Family Year-Round Residence					
1113	STATE ST			Two Family Year-Round Residence					
1121	STATE ST			Two Family Year-Round Residence					
1123	STATE ST			One Family Year-Round Residence					
1125	STATE ST			Three Family Year-Round Residence					
3A	TEUNIS AVE			One Family Year-Round Residence					
3B	TEUNIS AVE			Three Family Year-Round Residence					
5	TEUNIS AVE			Two Family Year-Round Residence					
7	TEUNIS AVE			Two Family Year-Round Residence					
119	W LAWRENCE ST			Two Family Year-Round Residence					
121	W LAWRENCE ST			Three Family Year-Round Residence					
124	W LAWRENCE ST			One Family Year-Round Residence					
127	W LAWRENCE ST			One Family Year-Round Residence					
131	W LAWRENCE ST			One Family Year-Round Residence					
135	W LAWRENCE ST			One Family Year-Round Residence					
143	W LAWRENCE ST			One Family Year-Round Residence					
169	W LAWRENCE ST			One Family Year-Round Residence					
173	W LAWRENCE ST			Two Family Year-Round Residence					
175	W LAWRENCE ST			Two Family Year-Round Residence					
184	W LAWRENCE ST			Two Family Year-Round Residence					
186	W LAWRENCE ST			Two Family Year-Round Residence					
188	W LAWRENCE ST			Two Family Year-Round Residence					
191	W LAWRENCE ST			One Family Year-Round Residence					
195	W LAWRENCE ST			One Family Year-Round Residence					
197	W LAWRENCE ST			One Family Year-Round Residence					
259	W LAWRENCE ST			One Family Year-Round Residence					
263	W LAWRENCE ST			Two Family Year-Round Residence					
264	W LAWRENCE ST			One Family Year-Round Residence					
267	W LAWRENCE ST			One Family Year-Round Residence					
268	W LAWRENCE ST			One Family Year-Round Residence					
271	W LAWRENCE ST			Three Family Year-Round Residence					
275	W LAWRENCE ST			One Family Year-Round Residence					
277	W LAWRENCE ST			One Family Year-Round Residence					
285	W LAWRENCE ST			One Family Year-Round Residence					
288	W LAWRENCE ST			Apartments (Commercial)					
289	W LAWRENCE ST			One Family Year-Round Residence					
290	W LAWRENCE ST			Two Family Year-Round Residence					
293	W LAWRENCE ST			One Family Year-Round Residence					
294	W LAWRENCE ST			One Family Year-Round Residence					
298	W LAWRENCE ST			One Family Year-Round Residence					
301	W LAWRENCE ST			One Family Year-Round Residence					
306	W LAWRENCE ST			One Family Year-Round Residence					
372	W LAWRENCE ST			One Family Year-Round Residence					
374	W LAWRENCE ST			One Family Year-Round Residence					
384	W LAWRENCE ST			Two Family Year-Round Residence					
385	W LAWRENCE ST			Two Family Year-Round Residence					
386	W LAWRENCE ST			One Family Year-Round Residence					
387	W LAWRENCE ST			Apartments (Commercial)					
389	W LAWRENCE ST			One Family Year-Round Residence					
391	W LAWRENCE ST			One Family Year-Round Residence					
393	W LAWRENCE ST			One Family Year-Round Residence					
401	W LAWRENCE ST			One Family Year-Round Residence					
415	W LAWRENCE ST			Residential Vacant Land					
418A	W LAWRENCE ST			One Family Year-Round Residence					
418B	W LAWRENCE ST			One Family Year-Round Residence					
420	W LAWRENCE ST			One Family Year-Round Residence					
427	W LAWRENCE ST			One Family Year-Round Residence					
429	W LAWRENCE ST			One Family Year-Round Residence					
431	W LAWRENCE ST			Two Family Year-Round Residence					
433	W LAWRENCE ST			Two Family Year-Round Residence					
435	W LAWRENCE ST			One Family Year-Round Residence					
436	W LAWRENCE ST			One Family Year-Round Residence					
439	W LAWRENCE ST			One Family Year-Round Residence					
441	W LAWRENCE ST			One Family Year-Round Residence					
442	W LAWRENCE ST			One Family Year-Round Residence					
447	W LAWRENCE ST			One Family Year-Round Residence					
448	W LAWRENCE ST			One Family Year-Round Residence					
452	W LAWRENCE ST			One Family Year-Round Residence					
453	W LAWRENCE ST			One Family Year-Round Residence					
458	W LAWRENCE ST			Two Family Year-Round Residence					
462	W LAWRENCE ST			Two Family Year-Round Residence					
466	W LAWRENCE ST			One Family Year-Round Residence					
468	W LAWRENCE ST			One Family Year-Round Residence					
472	W LAWRENCE ST			One Family Year-Round Residence					
478	W LAWRENCE ST			One Family Year-Round Residence					
482	W LAWRENCE ST			One Family Year-Round Residence					
494	W LAWRENCE ST			One Family Year-Round Residence					
500	W LAWRENCE ST			One Family Year-Round Residence					
501	W LAWRENCE ST			One Family Year-Round Residence					
503	W LAWRENCE ST			One Family Year-Round Residence					
509	W LAWRENCE ST			One Family Year-Round Residence					
510	W LAWRENCE ST			One Family Year-Round Residence					
512	W LAWRENCE ST			One Family Year-Round Residence					
515	W LAWRENCE ST			One Family Year-Round Residence					
524	W LAWRENCE ST			One Family Year-Round Residence					
529	W LAWRENCE ST			One Family Year-Round Residence					
530	W LAWRENCE ST			One Family Year-Round Residence					
531	W LAWRENCE ST			Residential Vacant Land					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
534	W LAWRENCE ST			One Family Year-Round Residence					
544	W LAWRENCE ST			One Family Year-Round Residence					
546	W LAWRENCE ST			One Family Year-Round Residence					
				Residential Land including a Small Improvement (not used for living accommodations)					
548	W LAWRENCE ST			One Family Year-Round Residence					
550	W LAWRENCE ST			One Family Year-Round Residence					
518	WARREN ST			Three Family Year-Round Residence					
520	WARREN ST			One Family Year-Round Residence					
522	WARREN ST			Two Family Year-Round Residence					
524	WARREN ST			One Family Year-Round Residence					
525	WARREN ST			Two Family Year-Round Residence					
526	WARREN ST			Two Family Year-Round Residence					
527	WARREN ST			Two Family Year-Round Residence					
528	WARREN ST			Two Family Year-Round Residence					
530	WARREN ST			Two Family Year-Round Residence					
531	WARREN ST			Two Family Year-Round Residence					
532	WARREN ST			Apartments (Commercial)					
535	WARREN ST			Apartments (Commercial)					
536	WARREN ST			One Family Year-Round Residence					
539	WARREN ST			Apartments (Commercial)					
540	WARREN ST			One Family Year-Round Residence					
542	WARREN ST			Residential Vacant Land					
543	WARREN ST			Apartments (Commercial)					
544	WARREN ST			One Family Year-Round Residence					
547	WARREN ST			(Commercial) Parking Lot					
548	WARREN ST			Two Family Year-Round Residence					
549	WARREN ST			Two Family Year-Round Residence					
550	WARREN ST			Two Family Year-Round Residence					
551	WARREN ST			Two Family Year-Round Residence					
555	WARREN ST			Residential Vacant Land					
589	WARREN ST			One Family Year-Round Residence					
591	WARREN ST			One Family Year-Round Residence					
593	WARREN ST			One Family Year-Round Residence					
595	WARREN ST			One Family Year-Round Residence					
597	WARREN ST			One Family Year-Round Residence					
599	WARREN ST			One Family Year-Round Residence					
600	WARREN ST			Apartments (Commercial)					
603	WARREN ST			Two Family Year-Round Residence					
605	WARREN ST			Two Family Year-Round Residence					
611	WARREN ST			Three Family Year-Round Residence					
615	WARREN ST		Undetermined	Apartments (Commercial)					
619	WARREN ST			One Family Year-Round Residence					
621	WARREN ST			One Family Year-Round Residence					
623	WARREN ST			One Family Year-Round Residence					
650	WARREN ST			(Commercial) Office Building					
655	WARREN ST			One Family Year-Round Residence					
657	WARREN ST			Residential Vacant Land					
667	WARREN ST			Residential Vacant Land					
669	WARREN ST			Residential Vacant Land					
674	WARREN ST			County-Owned Public Parks and Recreation Areas					
678	WARREN ST			County-Owned Public Parks and Recreation Areas					
680	WARREN ST			County-Owned Public Parks and Recreation Areas					
682	WARREN ST			County-Owned Public Parks and Recreation Areas					
684	WARREN ST			County-Owned Public Parks and Recreation Areas					
686	WARREN ST			County-Owned Public Parks and Recreation Areas					
688	WARREN ST			County-Owned Public Parks and Recreation Areas					
692	WARREN ST			Apartments (Commercial)					
854	WARREN ST			One Family Year-Round Residence					
857	WARREN ST			One Family Year-Round Residence					
858	WARREN ST			Two Family Year-Round Residence					
862	WARREN ST			Two Family Year-Round Residence					
870	WARREN ST			Two Family Year-Round Residence					
874	WARREN ST			Two Family Year-Round Residence					
875	WARREN ST			Two Family Year-Round Residence					
876	WARREN ST			Two Family Year-Round Residence					
877	WARREN ST			Two Family Year-Round Residence					
879	WARREN ST			Two Family Year-Round Residence					
880	WARREN ST			Two Family Year-Round Residence					
881	WARREN ST			One Family Year-Round Residence					
882	WARREN ST			Two Family Year-Round Residence					
883	WARREN ST			Two Family Year-Round Residence					
884	WARREN ST			One Family Year-Round Residence					
887	WARREN ST			Two Family Year-Round Residence					
888	WARREN ST			One Family Year-Round Residence					
889	WARREN ST			One Family Year-Round Residence					
892	WARREN ST	Not Eligible		One Family Year-Round Residence					
899	WARREN ST			One Family Year-Round Residence					
901	WARREN ST			One Family Year-Round Residence					
640	WASHINGTON AVE			City/Town/Village Public Parks and Recreation Areas					
700	WASHINGTON AVE	Not Eligible		Schools					
780	WASHINGTON AVE	Not Eligible		Army, Navy, Air Force, Marine and Coast Guard					
784	WASHINGTON AVE			(Commercial) Downtown Row Type (Detached)					
788	WASHINGTON AVE			Two Family Year-Round Residence					
790	WASHINGTON AVE			Two Family Year-Round Residence					
792	WASHINGTON AVE			Two Family Year-Round Residence					
794	WASHINGTON AVE			Two Family Year-Round Residence					
796	WASHINGTON AVE			Two Family Year-Round Residence					
798	WASHINGTON AVE			Two Family Year-Round Residence					
800	WASHINGTON AVE			Two Family Year-Round Residence					
802	WASHINGTON AVE			Two Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
804	WASHINGTON AVE			Two Family Year-Round Residence					
806	WASHINGTON AVE			Two Family Year-Round Residence					
808	WASHINGTON AVE			Two Family Year-Round Residence					
814	WASHINGTON AVE			Two Family Year-Round Residence					
818	WASHINGTON AVE			Two Family Year-Round Residence					
820	WASHINGTON AVE			Two Family Year-Round Residence					
822	WASHINGTON AVE			Two Family Year-Round Residence					
828	WASHINGTON AVE			(Commercial) Office Building					
836	WASHINGTON AVE			Two Family Year-Round Residence					
840	WASHINGTON AVE			Two Family Year-Round Residence					
852	WASHINGTON AVE			Residential Vacant Land					
856	WASHINGTON AVE			One Family Year-Round Residence					
858	WASHINGTON AVE			One Family Year-Round Residence					
860	WASHINGTON AVE			Two Family Year-Round Residence					
862	WASHINGTON AVE			One Family Year-Round Residence					
864	WASHINGTON AVE			Two Family Year-Round Residence					
866	WASHINGTON AVE			One Family Year-Round Residence					
868	WASHINGTON AVE			One Family Year-Round Residence					
870	WASHINGTON AVE			Two Family Year-Round Residence					
902	WASHINGTON AVE			One Family Year-Round Residence					
904	WASHINGTON AVE			One Family Year-Round Residence					
906	WASHINGTON AVE			One Family Year-Round Residence					
912	WASHINGTON AVE			One Family Year-Round Residence					
916	WASHINGTON AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
1	WEBSTER ST			One Family Year-Round Residence					
2	WEBSTER ST			One Family Year-Round Residence					
3	WEBSTER ST			Residential Vacant Land					
5	WEBSTER ST			Residential Vacant Land					
2	WEST ERIE ST			Two Family Year-Round Residence					
3	WEST ERIE ST			One Family Year-Round Residence					
5	WEST ERIE ST			One Family Year-Round Residence					
6	WEST ERIE ST			Two Family Year-Round Residence					
7	WEST ERIE ST			One Family Year-Round Residence					
8	WEST ERIE ST			One Family Year-Round Residence					
9	WEST ERIE ST			One Family Year-Round Residence					
10	WEST ERIE ST			Two Family Year-Round Residence					
11	WEST ERIE ST			One Family Year-Round Residence					
12	WEST ERIE ST			Two Family Year-Round Residence					
14	WEST ERIE ST			Two Family Year-Round Residence					
15	WEST ERIE ST			Two Family Year-Round Residence					
16	WEST ERIE ST			Two Family Year-Round Residence					
17	WEST ERIE ST			Three Family Year-Round Residence					
18	WEST ERIE ST			One Family Year-Round Residence					
19	WEST ERIE ST			Two Family Year-Round Residence					
20	WEST ERIE ST			One Family Year-Round Residence					
21	WEST ERIE ST			Two Family Year-Round Residence					
22	WEST ERIE ST			One Family Year-Round Residence					
23	WEST ERIE ST			Apartments (Commercial)					
24	WEST ERIE ST			One Family Year-Round Residence					
26	WEST ERIE ST			Two Family Year-Round Residence					
28	WEST ERIE ST			Two Family Year-Round Residence					
29	WEST ERIE ST			One Family Year-Round Residence					
30	WEST ERIE ST			Two Family Year-Round Residence					
31	WEST ERIE ST			One Family Year-Round Residence					
32	WEST ERIE ST			Two Family Year-Round Residence					
33	WEST ERIE ST			One Family Year-Round Residence					
34	WEST ERIE ST			One Family Year-Round Residence					
35	WEST ERIE ST			Two Family Year-Round Residence					
36	WEST ERIE ST			One Family Year-Round Residence					
37	WEST ERIE ST			Two Family Year-Round Residence					
38	WEST ERIE ST			One Family Year-Round Residence					
39	WEST ERIE ST			Two Family Year-Round Residence					
40	WEST ERIE ST			Three Family Year-Round Residence					
41	WEST ERIE ST			One Family Year-Round Residence					
42	WEST ERIE ST			One Family Year-Round Residence					
43	WEST ERIE ST			One Family Year-Round Residence					
44	WEST ERIE ST			One Family Year-Round Residence					
45	WEST ERIE ST			One Family Year-Round Residence					
46	WEST ERIE ST			One Family Year-Round Residence					
47	WEST ERIE ST			One Family Year-Round Residence					
48	WEST ERIE ST			One Family Year-Round Residence					
49	WEST ERIE ST			One Family Year-Round Residence					
51	WEST ERIE ST			One Family Year-Round Residence					
52	WEST ERIE ST			One Family Year-Round Residence					
60	WEST ERIE ST			One Family Year-Round Residence					
63	WEST ERIE ST			One Family Year-Round Residence					
64	WEST ERIE ST			One Family Year-Round Residence					
67	WEST ERIE ST			One Family Year-Round Residence					
228	WESTERN AVE			Two Family Year-Round Residence					
230	WESTERN AVE			Two Family Year-Round Residence					
234	WESTERN AVE			(Commercial) Converted Residence					
236	WESTERN AVE			Three Family Year-Round Residence					
238	WESTERN AVE			Two Family Year-Round Residence					
240	WESTERN AVE			Two Family Year-Round Residence					
248	WESTERN AVE			Two Family Year-Round Residence					
250	WESTERN AVE			(Commercial) Downtown Row Type (Common Wall)					
252	WESTERN AVE			Two Family Year-Round Residence					
254	WESTERN AVE			Three Family Year-Round Residence					
256	WESTERN AVE			Two Family Year-Round Residence					
258	WESTERN AVE			Two Family Year-Round Residence					
260-262	WESTERN AVE			Three Family Year-Round Residence					
264	WESTERN AVE			Three Family Year-Round Residence					
268	WESTERN AVE			Two Family Year-Round Residence					
272	WESTERN AVE			Two Family Year-Round Residence					
274	WESTERN AVE			One Family Year-Round Residence					
278	WESTERN AVE			Three Family Year-Round Residence					
280	WESTERN AVE			Residential Vacant Land					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
284	WESTERN AVE			Apartments (Commercial)					
296	WESTERN AVE			Three Family Year-Round Residence					
290	WESTERN AVE			Two Family Year-Round Residence					
294	WESTERN AVE			One Family Year-Round Residence					
295	WESTERN AVE	Eligible	Alden Hall	Colleges and Universities					
296	WESTERN AVE			Two Family Year-Round Residence					
298	WESTERN AVE			Two Family Year-Round Residence					
302	WESTERN AVE		Residence Hall	(Commercial) Converted Residence	N/C	ca. 1892-1909	Two-and-one-half-story frame building with a side-gabled roof.	College of Saint Rose Potential Historic District	
306	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof and a wraparound porch at the first story.	College of Saint Rose Potential Historic District	
310	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892	Two-story frame building with a gable-front roof.	College of Saint Rose Potential Historic District	
311	WESTERN AVE	Eligible	Watbury Hall	Colleges and Universities					
				Residential (Multi-Purpose / Multi-Structure)	N/C	ca. 1892	Two-story frame building with a low-sloping roof. A partially enclosed full-width porch extends across the first story of the facade.	College of Saint Rose Potential Historic District	
312	WESTERN AVE			Three Family Year-Round Residence	N/C	ca. 1892	Two-and-one-half-story gable-front frame building. The first story is clad with stone veneer.	College of Saint Rose Potential Historic District	
316	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892	Two-story frame building with a low-sloping roof. A full-width porch extends across the first story of the facade.	College of Saint Rose Potential Historic District	
320	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892	Two-and-one-half-story gable-front frame building.	College of Saint Rose Potential Historic District	
322	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892	Attached two-story frame building with a low-sloping roof.	College of Saint Rose Potential Historic District	
324	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892	Attached two-story frame building with a low-sloping roof.	College of Saint Rose Potential Historic District	
328	WESTERN AVE			Apartments (Commercial)	N/C	ca. 1892	Two-story over basement brick apartment building.	College of Saint Rose Potential Historic District	
340	WESTERN AVE		Security Headquarters	(Commercial) One Story Small Structure	N/C	ca. 1961-1985	Two-story brick building with a gable-front roof. The building is oriented on an east-west axis.	College of Saint Rose Potential Historic District	
							Two-and-one-half-story gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a gable-front roof to the east and a bay window to the west.	College of Saint Rose Potential Historic District	
350	WESTERN AVE	Undetermined	Kelty Hall	Three Family Year-Round Residence	C	ca. 1909-1935			
354	WESTERN AVE	Undetermined	Kateri Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a gable-front roof to the east and a bay window to the west.	College of Saint Rose Potential Historic District	
358	WESTERN AVE	Undetermined	Collins Hall/Good Counsel Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a gable-front roof to the east and a bay window to the west.	College of Saint Rose Potential Historic District	
366	WESTERN AVE	Undetermined	Alumni Hall & Lima Hall/Saint Rose of Lima Hall	Colleges and Universities	See Description	1978/1958	Two multi-story brick buildings on one lot. Saint Rose of Lima Hall is contributing to the district. Alumni Hall, constructed in 1978, is non-contributing.	College of Saint Rose Potential Historic District	
370	WESTERN AVE	Undetermined	Delaney Hall/Saint John Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story, gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a gable-front roof to the west and a bay window to the east.	College of Saint Rose Potential Historic District	
374	WESTERN AVE	Undetermined	Hahn Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story, gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a gable-front roof to the west and a bay window to the east.	College of Saint Rose Potential Historic District	
378	WESTERN AVE	Undetermined	Cullen Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story, side-gabled frame building. A two-story gable-front projecting block is located at the east of the facade.	College of Saint Rose Potential Historic District	
380	WESTERN AVE	Undetermined	McCormick Hall/Saint Anne Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story, gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a low-sloping roof to the west and a bay window to the east.	College of Saint Rose Potential Historic District	
384	WESTERN AVE	Undetermined	Lourdes Hall/Our Lady of Lourdes Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story, gable-front frame building. The first story has a full-width porch. The second story has an enclosed porch with a gable-front roof to the west and a bay window to the east.	College of Saint Rose Potential Historic District	
389	WESTERN AVE			Residential Vacant Land					
391	WESTERN AVE	Not Eligible		Colleges and Universities					
394	WESTERN AVE	Undetermined	Neil Heitman Library	Colleges and Universities	C	1951	Two-story brick building with a one-story block appended to the facade.	College of Saint Rose Potential Historic District	
399	WESTERN AVE		Cabrini Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof. The building is oriented on an east-west axis.	College of Saint Rose Potential Historic District	
405	WESTERN AVE		Avila Hall, Keeshan Hall, Medaille Hall (3 buildings)	Colleges and Universities	C	ca. 1892-1909	Three distinct buildings on one lot, two of frame construction and one of brick construction. Each building is two-and-one-half stories with a hipped roof.	College of Saint Rose Potential Historic District	3 buildings in CRIS - Keeshan Hall (405 Western Avenue), Medaille Hall (409 Western Avenue), Avila Hall (417-419 Western Avenue).
408	WESTERN AVE	Undetermined	Events & Athletics Center/Activities Center	Colleges and Universities	N/C	ca. 1961-1985	Multi-story brick building.	College of Saint Rose Potential Historic District	
421	WESTERN AVE			Two Family Year-Round Residence	N/C	ca. 1892-1909	Two-and-one-half-story gable-front frame building. The building has a full-width porch at the facade.	College of Saint Rose Potential Historic District	
423-429	WESTERN AVE		Faculty, Student Apartments	Residential (Multi-Purpose / Multi-Structure)	C	ca. 1892-1909	Two buildings on one lot. The eastern building is a two-and-one-half-story gable-front frame building. The building has a full-width porch. The western building is two-and-one-half-stories with a hipped roof. A full-width porch extends across the first story of the facade.	College of Saint Rose Potential Historic District	
428	WESTERN AVE	Undetermined		Residential Vacant Land	N/C	N/A		College of Saint Rose Potential Historic District	
432	WESTERN AVE	Undetermined	Albertus Hall/Albertus Magnus Hall	Colleges and Universities	C	1929-33	Three-story brick building with limestone detailing.	College of Saint Rose Potential Historic District	
433	WESTERN AVE			(Commercial) Converted Residence	N/C	ca. 1892-1909	Two-and-one-half-story frame building with a cross-gable roof and a wraparound porch at the first story.	College of Saint Rose Potential Historic District	
437	WESTERN AVE			Apartments (Commercial)	N/C	ca. 1892-1909	Two-and-one-half-story frame building with a cross-gambrel roof.	College of Saint Rose Potential Historic District	
438	WESTERN AVE	Undetermined		Colleges and Universities (Vacant land)	N/C	N/A		College of Saint Rose Potential Historic District	
441	WESTERN AVE						Two-and-one-half-story frame building with a side-gabled roof. The building has a two-story gable front projection at the facade.	College of Saint Rose Potential Historic District	
442	WESTERN AVE	Undetermined	Dolan Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story gable-front frame building. A full-width porch extends across the first story of the facade.	College of Saint Rose Potential Historic District	
444	WESTERN AVE	Undetermined	Marcelle Hall	Colleges and Universities	C	ca. 1892-1909	Two-and-one-half-story frame building with a hipped roof. A full-width porch extends across the facade at the first story.	College of Saint Rose Potential Historic District	
445	WESTERN AVE			Two Family Year-Round Residence					
449	WESTERN AVE			Apartments (Commercial)					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
450	WESTERN AVE	Undetermined	Griffin Hall	Colleges and Universities	C	ca. 1909-1935	Two-and-one-half-story frame building with a gable-front roof. A full-width porch extends across the first story. The second story contains a gabled porch to the west and a bay window to the east.	College of Saint Rose Potential Historic District	
453	WESTERN AVE			Apartments (Commercial)					
454	WESTERN AVE	Undetermined	Soulier Hall/Saint Michael Hall	Three Family Year-Round Residence	C	ca. 1909-1935	Two-and-one-half-story frame building with a gable-front roof. A full-width porch extends across the first story. The second story contains a porch with a low-sloping roof to the west and a bay window to the east.	College of Saint Rose Potential Historic District	
455	WESTERN AVE			Two Family Year-Round Residence					
457	WESTERN AVE			Two Family Year-Round Residence					
458	WESTERN AVE	Undetermined	Religious Studies/Philosophy Faculty	One Family Year-Round Residence	C	ca. 1909-1935	Two-and-one-half-story frame building with a hipped roof. A full-width porch extends across the facade at the first story.	College of Saint Rose Potential Historic District	
459	WESTERN AVE			Three Family Year-Round Residence					
460	WESTERN AVE	Undetermined	Arts & Humanities Faculty	One Family Year-Round Residence	C	ca. 1909-1935	Two-and-one-half-story frame building with a gable-front roof. A full-width porch extends across the facade at the first story.	College of Saint Rose Potential Historic District	
461	WESTERN AVE			Three Family Year-Round Residence					
464	WESTERN AVE	Undetermined	Social Work Faculty	One Family Year-Round Residence	C	ca. 1909-1935	Two-and-one-half-story frame building with a gable-front roof with a clipped gable.	College of Saint Rose Potential Historic District	
465	WESTERN AVE			Apartments (Commercial)					
466-468	WESTERN AVE	Undetermined		Three Family Year-Round Residence					
469	WESTERN AVE			Two Family Year-Round Residence					
473	WESTERN AVE			(Commercial) Converted Residence					
477	WESTERN AVE			One Family Year-Round Residence					
481	WESTERN AVE			Three Family Year-Round Residence					
485	WESTERN AVE			(Commercial) Converted Residence					
488	WESTERN AVE			Apartments (Commercial)					
489	WESTERN AVE			(Commercial) Converted Residence					
490	WESTERN AVE			(Commercial) Converted Residence					
490.5	WESTERN AVE			Three Family Year-Round Residence					
494	WESTERN AVE			Apartments (Commercial)					
501	WESTERN AVE			Drive-In Branch Bank					
517	WESTERN AVE	Not Eligible		Office Building					
518	WESTERN AVE			Gas Stations and Services					
523	WESTERN AVE			(Commercial) Converted Residence					
527	WESTERN AVE			(Commercial) Converted Residence					
531	WESTERN AVE			Inns, Lodges, Boarding and Rooming Houses, Tourist Homes, Fraternity and Sorority House					
537	WESTERN AVE			(Commercial) Converted Residence					
540	WESTERN AVE			Apartments (Commercial)					
541	WESTERN AVE			Apartments (Commercial)					
545	WESTERN AVE	Eligible	Elmendorf Twin Home	One Family Year-Round Residence					
571	WESTERN AVE			Two Family Year-Round Residence					
573	WESTERN AVE			One Family Year-Round Residence					
575	WESTERN AVE			Apartments (Commercial)					
577	WESTERN AVE			Apartments (Commercial)					
6	WINNIE ST			Two Family Year-Round Residence					
10	WINNIE ST			Residential Vacant Land					
11	WINNIE ST			Two Family Year-Round Residence					
12	WINNIE ST			One Family Year-Round Residence					
14	WINNIE ST			Residential Vacant Land					
18	WINNIE ST			Two Family Year-Round Residence					
22	WINNIE ST			Three Family Year-Round Residence					
24	WINNIE ST			Residential Vacant Land					
26	WINNIE ST			Residential Vacant Land					
27	WINNIE ST			Two Family Year-Round Residence					
29	WINNIE ST			Apartments (Commercial)					
31	WINNIE ST			Two Family Year-Round Residence					
32	WINNIE ST			One Family Year-Round Residence					
33	WINNIE ST			Residential Vacant Land					
36	WINNIE ST			Two Family Year-Round Residence					
37	WINNIE ST			One Family Year-Round Residence					
42	WINNIE ST			One Family Year-Round Residence					
44	WINNIE ST			One Family Year-Round Residence					
45	WINNIE ST			Residential Land Including a Small Improvement (not used for living accommodations)					
48	WINNIE ST			One Family Year-Round Residence					
51	WINNIE ST			One Family Year-Round Residence					
52	WINNIE ST			Two Family Year-Round Residence					
54	WINNIE ST			One Family Year-Round Residence					
62	WINNIE ST			One Family Year-Round Residence					
65	WINNIE ST			One Family Year-Round Residence					
71	WINNIE ST			One Family Year-Round Residence					
72	WINNIE ST			One Family Year-Round Residence					
76	WINNIE ST			One Family Year-Round Residence					
77	WINNIE ST			One Family Year-Round Residence					
78	WINNIE ST			One Family Year-Round Residence					
80	WINNIE ST			One Family Year-Round Residence					
81	WINNIE ST			Three Family Year-Round Residence					
83	WINNIE ST			Three Family Year-Round Residence					
84	WINNIE ST			One Family Year-Round Residence					
86	WINNIE ST			Residential Vacant Land					
87	WINNIE ST			Two Family Year-Round Residence					
89	WINNIE ST			One Family Year-Round Residence					
90	WINNIE ST			Three Family Year-Round Residence					
91	WINNIE ST			One Family Year-Round Residence					
98	WINNIE ST			Two Family Year-Round Residence					
100	WINNIE ST			One Family Year-Round Residence					
101	WINNIE ST			Apartments (Commercial)					
102	WINNIE ST			One Family Year-Round Residence					
104	WINNIE ST			One Family Year-Round Residence					
107	WINNIE ST			One Family Year-Round Residence					
108	WINNIE ST			One Family Year-Round Residence					
109	WINNIE ST			One Family Year-Round Residence					
110	WINNIE ST			One Family Year-Round Residence					
111	WINNIE ST			One Family Year-Round Residence					
115	WINNIE ST			Two Family Year-Round Residence					

APPENDICES

Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
117	WINNIE ST			One Family Year-Round Residence					
118	WINNIE ST			One Family Year-Round Residence					
123	WINNIE ST			One Family Year-Round Residence					
124	WINNIE ST			One Family Year-Round Residence					
129	WINNIE ST			One Family Year-Round Residence					
130	WINNIE ST			One Family Year-Round Residence					
131	WINNIE ST			One Family Year-Round Residence					
135	WINNIE ST			Residential Land Including a Small Improvement (not used for living accommodations)					
136	WINNIE ST			Two Family Year-Round Residence					
137	WINNIE ST			Small Parking Garage					
1	WOODLAWN AVE			Residential Land Including a Small Improvement (not used for living accommodations)					
5	WOODLAWN AVE			Two Family Year-Round Residence					
6	WOODLAWN AVE			One Family Year-Round Residence					
8	WOODLAWN AVE			One Family Year-Round Residence					
9	WOODLAWN AVE			Three Family Year-Round Residence					
11	WOODLAWN AVE			Two Family Year-Round Residence					
11A	WOODLAWN AVE			Two Family Year-Round Residence					
13	WOODLAWN AVE			One Family Year-Round Residence					
15	WOODLAWN AVE			Two Family Year-Round Residence					
16	WOODLAWN AVE			One Family Year-Round Residence					
17	WOODLAWN AVE			Two Family Year-Round Residence					
19	WOODLAWN AVE			(Commercial) Converted Residence					
21	WOODLAWN AVE			Three Family Year-Round Residence					
23	WOODLAWN AVE			One Family Year-Round Residence					
25	WOODLAWN AVE			Apartments (Commercial)					
27	WOODLAWN AVE			Two Family Year-Round Residence					
29	WOODLAWN AVE			Two Family Year-Round Residence					
31	WOODLAWN AVE			One Family Year-Round Residence					
33	WOODLAWN AVE			One Family Year-Round Residence					
35	WOODLAWN AVE			One Family Year-Round Residence					
44	WOODLAWN AVE			Two Family Year-Round Residence					
50	WOODLAWN AVE			Apartments (Commercial)					
70	WOODLAWN AVE			One Family Year-Round Residence					
72	WOODLAWN AVE			One Family Year-Round Residence					
74	WOODLAWN AVE			Two Family Year-Round Residence					
76	WOODLAWN AVE			Two Family Year-Round Residence					
80	WOODLAWN AVE			One Family Year-Round Residence					
84	WOODLAWN AVE			Apartments (Commercial)					
88	WOODLAWN AVE			Two Family Year-Round Residence					
89	WOODLAWN AVE			One Family Year-Round Residence					
90	WOODLAWN AVE			Two Family Year-Round Residence					
91	WOODLAWN AVE			Residential Vacant Land					
92	WOODLAWN AVE			Two Family Year-Round Residence					
94	WOODLAWN AVE			Two Family Year-Round Residence					
95	WOODLAWN AVE			Two Family Year-Round Residence					
96	WOODLAWN AVE			One Family Year-Round Residence					
97	WOODLAWN AVE			Two Family Year-Round Residence					
98	WOODLAWN AVE			Two Family Year-Round Residence					
100	WOODLAWN AVE			Two Family Year-Round Residence					
102	WOODLAWN AVE			Two Family Year-Round Residence					
103	WOODLAWN AVE			One Family Year-Round Residence					
106	WOODLAWN AVE			Two Family Year-Round Residence					
111	WOODLAWN AVE			Two Family Year-Round Residence					
113	WOODLAWN AVE			Two Family Year-Round Residence					
115	WOODLAWN AVE			Two Family Year-Round Residence					
118	WOODLAWN AVE			One Family Year-Round Residence					
122	WOODLAWN AVE			One Family Year-Round Residence					
125	WOODLAWN AVE			One Family Year-Round Residence					
126	WOODLAWN AVE			One Family Year-Round Residence					
127	WOODLAWN AVE			One Family Year-Round Residence					
129	WOODLAWN AVE			Two Family Year-Round Residence					
130	WOODLAWN AVE			Two Family Year-Round Residence					
131	WOODLAWN AVE			Two Family Year-Round Residence					
133	WOODLAWN AVE			Two Family Year-Round Residence					
134	WOODLAWN AVE			Two Family Year-Round Residence					
135	WOODLAWN AVE			(Commercial) Converted Residence					
137	WOODLAWN AVE			One Family Year-Round Residence					
138	WOODLAWN AVE			One Family Year-Round Residence					
139	WOODLAWN AVE			One Family Year-Round Residence					
140	WOODLAWN AVE			Residential Vacant Land					
141	WOODLAWN AVE			One Family Year-Round Residence					
143	WOODLAWN AVE			Two Family Year-Round Residence					
146	WOODLAWN AVE			Two Family Year-Round Residence					
149	WOODLAWN AVE			One Family Year-Round Residence					
151	WOODLAWN AVE			One Family Year-Round Residence					
152	WOODLAWN AVE			One Family Year-Round Residence					
155	WOODLAWN AVE			One Family Year-Round Residence					
157	WOODLAWN AVE			One Family Year-Round Residence					
158	WOODLAWN AVE			One Family Year-Round Residence					
159	WOODLAWN AVE			One Family Year-Round Residence					
162	WOODLAWN AVE			One Family Year-Round Residence					
200	WOODLAWN AVE			One Family Year-Round Residence					
204	WOODLAWN AVE			One Family Year-Round Residence					
208	WOODLAWN AVE			One Family Year-Round Residence					
212	WOODLAWN AVE			One Family Year-Round Residence					
216	WOODLAWN AVE			One Family Year-Round Residence					
230	WOODLAWN AVE			One Family Year-Round Residence					
234	WOODLAWN AVE			One Family Year-Round Residence					
238	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage at the rear. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	
242	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade and an attached garage. The roof is clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
246	WOODLAWN AVE			Two Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage at the rear. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	
249	WOODLAWN AVE			City/Town/Village Public Parks and Recreation Areas					
251	WOODLAWN AVE			One Family Year-Round Residence					
253	WOODLAWN AVE			One Family Year-Round Residence					
259	WOODLAWN AVE			Two Family Year-Round Residence					
263	WOODLAWN AVE			One Family Year-Round Residence					
264	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed entrance block with arched openings and shed roof. The gable and shed roof are clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	
265	WOODLAWN AVE			One Family Year-Round Residence					
267	WOODLAWN AVE			One Family Year-Round Residence					
268	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed entrance block with arched openings and shed roof. The gable and shed roof are clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	
271	WOODLAWN AVE			One Family Year-Round Residence					
274	WOODLAWN AVE			One Family Year-Round Residence					
275	WOODLAWN AVE			One Family Year-Round Residence					
276	WOODLAWN AVE			One Family Year-Round Residence					
279	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style brick bungalow building with a gable-front projection at the facade, a recessed porch with arched openings and side-gabled roof, and an attached garage at the rear of the building. The roof is clad with Spanish tiles.	Winchester Gables Potential Historic District	
283	WOODLAWN AVE			One Family Year-Round Residence					
287	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with two gable-front projections at the facade; one of the projections extends from the entry porch, which has a side gabled roof and arched openings. The building has an attached garage at the rear. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with wood shingles.	Winchester Gables Potential Historic District	
291	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, an octagonal tower, and an attached garage at the rear. The gabled roof and tower roof are clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	
295	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed porch with arched openings and side-gabled roof, and an attached garage at the rear of the building. The roof is clad with asphalt shingle and the building is clad with wood shingles.	Winchester Gables Potential Historic District	
303	WOODLAWN AVE			One Family Year-Round Residence	C	ca. 1935	1-story Spanish Eclectic style bungalow building with a gable-front projection at the facade, a recessed porch with arched openings and side-gabled roof, and an attached garage at the rear of the building. The roof is clad with Spanish tiles and the building is clad with stucco.	Winchester Gables Potential Historic District	
250	YATES ST			Three Family Year-Round Residence					
252	YATES ST			One Family Year-Round Residence					
254	YATES ST			One Family Year-Round Residence					
262	YATES ST			Two Family Year-Round Residence					
266-268	YATES ST			Two Family Year-Round Residence					
270-272	YATES ST			Two Family Year-Round Residence					
276	YATES ST			Two Family Year-Round Residence					
282	YATES ST			Two Family Year-Round Residence					
284	YATES ST			Two Family Year-Round Residence					
286	YATES ST			Two Family Year-Round Residence					
288	YATES ST			Apartments (Commercial)					
441	YATES ST			Apartments (Commercial)					
442	YATES ST			Two Family Year-Round Residence					
446	YATES ST			One Family Year-Round Residence					
447	YATES ST			One Family Year-Round Residence					
448	YATES ST			Two Family Year-Round Residence					
450	YATES ST			Two Family Year-Round Residence					
452	YATES ST			Two Family Year-Round Residence					
453	YATES ST			Religious					
456	YATES ST			Two Family Year-Round Residence					
458	YATES ST			One Family Year-Round Residence					
460	YATES ST			Two Family Year-Round Residence					
468	YATES ST			Two Family Year-Round Residence					
470	YATES ST			One Family Year-Round Residence					
472	YATES ST			One Family Year-Round Residence					
474	YATES ST			One Family Year-Round Residence					
475	YATES ST			Residential Vacant Land					
476	YATES ST			One Family Year-Round Residence					
480	YATES ST			Two Family Year-Round Residence					
482	YATES ST			One Family Year-Round Residence					
483	YATES ST			Two Family Year-Round Residence					
485	YATES ST			(Commercial) One Story Small Structure					
486	YATES ST			(Commercial) Downtown Row Type (Detached)					
487	YATES ST			(Commercial) Parking Lot					
488	YATES ST			Two Family Year-Round Residence					
489	YATES ST			(Commercial) Parking Lot					
490	YATES ST			Two Family Year-Round Residence					
491	YATES ST			(Commercial) Parking Lot					
492	YATES ST			Two Family Year-Round Residence					
493	YATES ST			One Family Year-Round Residence					

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Pine Hills Survey Area Property List									
Address	Street	Historic Status	Historic Name	Class Description	Contributing (C) / Non-Contributing (N/C)	Year Built	Description	Potential Significance	CRIS Data Note
496	YATES ST			Two Family Year-Round Residence					
497	YATES ST			Two Family Year-Round Residence					
498	YATES ST			Two Family Year-Round Residence					
499	YATES ST			Two Family Year-Round Residence					
500	YATES ST			Two Family Year-Round Residence					
502	YATES ST			Two Family Year-Round Residence					
503	YATES ST			Two Family Year-Round Residence					
504	YATES ST			Auto Body, Tire Shops, Other Related Auto Sales					
505	YATES ST			Two Family Year-Round Residence					
506	YATES ST			One Family Year-Round Residence					
507	YATES ST			Bar					
508	YATES ST			Two Family Year-Round Residence					
509	YATES ST			Two Family Year-Round Residence					
510	YATES ST			One Family Year-Round Residence					
512	YATES ST			Two Family Year-Round Residence					
514	YATES ST	Not Eligible		One Family Year-Round Residence					
516	YATES ST			One Family Year-Round Residence					
518	YATES ST			One Family Year-Round Residence					
520	YATES ST			Two Family Year-Round Residence					
522	YATES ST			Two Family Year-Round Residence					
524	YATES ST			One Family Year-Round Residence					
526	YATES ST			Two Family Year-Round Residence					
528	YATES ST			One Family Year-Round Residence					
530	YATES ST			Three Family Year-Round Residence					
534	YATES ST			Two Family Year-Round Residence					
701	YATES ST			Vacant Land Located in Commercial Areas					
703	YATES ST			Auto Body, Tire Shops, Other Related Auto Sales					
731	YATES ST			Commercial Vacant Land with Minor Improvements					

APPENDICES

Appendix C: Project Team Resumes

The project team for the Pine Hills Neighborhood Historic Resources Survey was led by Lisa Easton, AIA and Siri Olson. Lisa Easton acted as the Partner-in-Charge and Siri Olson acted as the Field Director. The survey report was prepared by Siri Olson and Francesca Evans. In accordance with the State Historic Preservation Office's guidelines for reconnaissance-level historic resource surveys, the project team resumes are appended.

APPENDICES



LISA EASTON, AIA NCARB

PARTNER-IN-CHARGE

Lisa founded Easton Architects in 2003 and is regarded in the historic preservation field as an expert architect, preservationist, planner and historian. She received the largest monetary grant from the Getty Foundation's Campus Heritage Program for her work at Bronx Community College, as well as multiple awards from national, state and local grant programs. Lisa teaches at the Pratt Institute Center for Continuing & Professional Studies, lectures extensively at state and national conferences and serves on numerous non-profit Boards advocating for the integration of architecture and preservation.

EDUCATION

Master of Science in Historic Preservation, Columbia University, 1997
Bachelor of Architecture, Syracuse University, 1990
University of Kanto Gakuin, Yokohama, Japan International Study Program, 1989

Years of Experience: 33
Registered Architect In New York
Registered Architect In New Jersey
Registered Architect in Rhode Island
Registered Architect in Massachusetts
Registered Architect in U.S. Virgin Islands
Registered Architect in District of Columbia
Registered Architect in Michigan
Registered Architect in Texas (pending)

QUALIFICATIONS

National Park Service's Professional Qualifications Standards for Architecture, Historic Architecture, Architectural History, and History

BUILDING ASSESSMENT AND PRESERVATION PROJECTS

The Alamo | San Antonio, TX

Development of Restoration and Conservation Treatment Program and Architect of Record

Chase Municipal Building | Waterbury, CT

Existing Conditions Assessment and Preservation Master Plan;

Convent of the Sacred Heart | New York, NY

Existing Conditions Assessment; Master Plan; Restoration; Window Restoration

The Great Hall at Shadowlawn, Monmouth University | West Long Branch, NJ

Existing Conditions Assessment; Exterior Restoration

Reservoir #3 | Jersey City, NJ

Project Manager for restoration and adaptive reuse of historic reservoir and structures

New Victory Theater | New York, NY

Existing Conditions Assessment; Exterior and Interior Restoration

Our Lady of the Rosary | New York, NY

Existing Conditions Assessment; Exterior Restoration

Glenwood Power Plant | Yonkers, NY

Existing Conditions Assessment; Phased Comprehensive Restoration and Reuse

Salmagundi Club | New York, NY

Existing Conditions Assessment; Master Plan; Interior Renovation and Restoration

Rye Town Park, Bathing Complex | Rye, NY

Feasibility Study; Existing Conditions Assessment; Multi-Building Restoration

General Society of Mechanics and Tradesmen | New York, NY

Skylight Restoration

The Stanford White Complex at Bronx Community College | Bronx, NY

Conservation Master Plan; Restoration Construction Documents

Rye Town Park, Bathing Complex | Rye, NY

Feasibility Study; Existing Conditions Assessment; Multi-Building Phased Restoration

Georgian Court University | Lakewood, NJ

Conservation Master Plan; Roof Restoration

NEW DESIGN IN HISTORIC CONTEXT

The Swedish Ambassador's Residence | New York, NY Multiple Projects

604 Park Avenue, 608 Park Avenue 61-63 East 64th Street Multi-apartment renovations

The House of Sweden | Washington, DC

New residence in existing embassy for Swedish Ambassador.

The Swedish Ambassador's Residence | Washington, DC

Multi floor residence for the Ambassador in the Swedish Embassy

Brooklyn Bridge Park Pier 2 | Brooklyn, NY

Adaptive Reuse and New Design

St. Guilhem Gallery, The Cloisters Museum | New York, NY

Gallery Restoration and New Design

55 Central Park West | New York, NY

Entry Lobby Restoration and New Design

55 Central Park West Apt. 8D | New York, NY

Apartment Rehabilitation and New Design

Laird Distillery | Scobeyville, NJ

Historic Distillery Barn Restoration and New Design for Visitors Center

67 Midwood Ave | Brooklyn, NY

Complete Brownstone Restoration, Rehabilitation and New Design

OWNER'S REPRESENTATIVE AND HISTORIC PRESERVATION CONSULTING PROJECTS

The Swedish Ambassador's Residence | Washington, DC

Owner's Representative for Real Estate Assessment and valuation process for 3900 Nebraska Avenue property

The Swedish Ambassador's Residence | New York, NY Multiple Projects 2013-present

Owner's Representative and Preservation Consultant and Architect for ongoing projects

839 St. Mark's Avenue | Brooklyn, NY

Preservation Architect and consultant for adaptive reuse and new design project

New Victory Theater | New York, NY

Owner's Representative and Preservation Architect for ongoing Cyclical Maintenance Projects

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SIRI OLSON

ASSOCIATE, CO- DIRECTOR OF PRESERVATION POLICY & PLANNING

PRESERVATION PROJECT MANAGER

Siri has experience in researching, documenting, and evaluating historic buildings both on the East Coast and in California. Her strong research background is paired with a thorough understanding of the policies and laws that govern preservation work at the federal, state, and local levels. In her role as architectural historian and preservation architect, she is skilled at identifying conservation issues in the field for a wide range of historic building materials and developing appropriate solutions to protect our built environment. She has worked with Geographic Information Systems as a tool for historic resource management.

Years of Experience: 9
with Easton Architects: 7

EDUCATION

Master of Science in Historic Preservation,
Columbia University, 2018
Bachelor of Arts in Architectural Studies
Magna Cum Laude,
Brown University, 2014

CERTIFICATION

OSHA Construction Safety and Health

QUALIFICATIONS

National Park Service's Professional Qualifications Standards for Architecture, Historic Architecture, Architectural History, and History

**Historic Preservation Master Plan
Element | Westfield, NJ**
Project Manager for Historic Preservation
Mater Plan as subconsultant to H2M Planners

**Historic Preservation Master Plan
Element | Jersey City, NJ**
Project Manager for Historic Preservation
Mater Plan as subconsultant to H2M Planners

Reservoir #3 | Jersey City, NJ
Project Manager for restoration and adaptive reuse of historic reservoir and structures

**Historical Architectural Review
Board | Allentown, PA**
Research, Application Review and Design
Guidelines Consultant for HARB for the City of Allentown

Albany Warehouse District | Albany, NY
Architectural Resources Survey

Historic Resources Survey | Greenburgh, NY
Architectural Resources Survey

**Milford Borough Design Guidelines Update
| Milford, PA**
Update to Restoration, Architectural, and
Planning Design Guidelines for Historic District

**City of Allentown Design
Guidelines Update | Allentown, PA**
Update to Restoration, Architectural, and
Planning Design Guidelines for Historic District

**City of Salem Design Guidelines Update
| Salem, MA**
Update to Restoration, Architectural, and
Planning Design Guidelines for Historic District

**City of Lambertville Architectural Styles
Handbook | Lambertville, NJ**
Development of Restoration, Architectural,
and Planning Design Handbook for Historic District

Kensico Manor | North White Plains, NY
Feasibility Study and Alternatives Analysis

Women's Building | New York, NY
Feasibility Study and Alternatives Analysis

Glenwood Power Plant | Yonkers, NY
Existing Conditions Assessment

**Elizabeth Sculthorpe Force House | Toms
River, NJ**
National Register Nomination

Laird & Company Distillery | Scobeyville, NJ
National Register Nomination; Rehabilitation
Tax Credit Application

Upper Gregory Survey | West Orange, NJ
Intensive-Level Survey and Historic Context
Report; GIS Analysis

**Camp Santanoni Barn Reconstruction
Feasibility Study | Newcomb, NY**
Archival Research; Existing Conditions
Assessment; Code Analysis

**Ocean County Courthouse Sheriff's
House | Toms River, NJ**
HABS Documentation and Historic Report

Ocean County Courthouse | Toms River, NJ
Preservation Plan and Existing Conditions
Assessment

161 Emerson Place | Brooklyn, NY
Research Report and Zoning Analysis

**Long Island Rail Road, Mineola Electrical
Substation and Nassau Tower | Mineola, NY**
HABS Documentation and Historic Report

144-150 Greenpoint Avenue | Brooklyn, NY
Research Report and Zoning Analysis

**35-15 80th Street, Greystone
Apartments | Jackson Heights, NY**
Existing Conditions Assessment

**34-337 80th Street, Chateau
Apartments | Jackson Heights, NY**
Existing Conditions Assessment

**Judge Jacob Tysen House | Staten Island,
NY**
Existing Conditions Assessment

**Rossville AME Zion Church | Staten Island,
NY**
Existing Conditions Assessment

New Victory Theater | New York, NY
Exterior Conditions and Interior Plaster
Inspection; Proscenium Arch Restoration

150 East 89th Street | New York, NY
Exterior Restoration Construction Documents

**General Society of Mechanics and
Tradesmen | New York, NY**
Roof Replacement and Skylight Restoration

78 Grand Street | New York, NY
Cast Iron Facade Restoration

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FRANCESCA EVANS

CULTURAL RESOURCE & ARCHITECTURAL DOCUMENTATION SPECIALIST

Frankie is a detail-oriented and passionate preservationist, with wide-ranging experiences in historic preservation practice for significant municipal and state agencies. She brings a wealth of direct hands-on field experience in historic building rehabilitation, archival research, and professional report preparation. As a cultural resource specialist, she brings well-organized, analytical thinking with demonstrated leadership ability and excellent research, oral, and written communication skills.

Frankie joins us after working for both New Jersey Historic Preservation Office and the City of Paterson, NJ.

EDUCATION

Master of Historic Preservation, Maryland University, 2022
Bachelor of Arts in American Studies and Political Science Summa Cum Laude, Ramapo College, 2019

QUALIFICATIONS

National Park Service's Professional Qualifications Standards for Architectural History and History

The Alamo Church & Long Barrack | San Antonio, TX

Historic Research and Architectural Documentation for restoration and conservation projects

Laird & Company Distillery | Scobeyville, NJ

National Register of Historic Places Nomination; Rehabilitation Tax Credit Application

Historic Preservation Master Plan Element | Jersey City, NJ

Assistant Project Manager for city-wide Historic Preservation Master Plan Element as subconsultant to H2M Planners

Historic Preservation Master Plan Element | Westfield, NJ

Assistant Project Manager for town-wide Historic Preservation Master Plan Element as subconsultant to H2M Planners

Downtown Westfield | Westfield, NJ

Intensive-Level Survey and National Register of Historic Places Nomination for Downtown Westfield Historic District

Historic Resources Survey | Braintree, MA

Intensive-Level Survey and Historic Property Inventory Update for Town of Braintree and SHPO

Preservation Ordinance Update | Milford, PA

Update to Milford Borough's Historic Preservation Ordinance, SHPO Coordination

Atlantic City Fire Station #4 | Atlantic City, NJ

National Register of Historic Places Nomination

City of Lambertville Architectural Styles Handbook | Lambertville, NJ

Development of Restoration, Architectural, and Planning Design Handbook for Historic District

Mercer Corporate Park Project Site | Mercer County, NJ

HABS Documentation and Zoning Analysis for Imlay-Busby Farm

Bennington Battle Monument | Bennington, VT

Historic Research and Architectural Documentation

WORK PERFORMED PRIOR TO EASTON ARCHITECTS

City of Paterson, Paterson, NJ

Historic Preservation Project Review

Township of Bloomfield, Bloomfield, NJ

Historic Structure Report and Investigation

Montgomery County Planning Dept., Wheaton, MD

Historic Preservation Master Plan Element

New Jersey Historic Preservation Office

Historic Preservation Project Review, Section 106 Compliance and Mitigation Review, HABS and HAER Documentation Review

Maryland National Capital Park & Planning Commission, Riverdale, MD

Cultural Landscape Study, Conditions Assessment Report

Ottery Group Inc., Silver Spring, MD

Historic Property Inventory Forms and Architectural Survey

Appalachian Forest National Heritage Area Americorps, Elkins, WV

Window Rehabilitation, Historic Roof Replacement, Historic Plaster Repair and Replacement

HONORS AND AWARDS

St. Clair Wright Award

Francis K. Hackett SSHGS Scholarship

Ramapo College Book Prize for Academic Excellence